

**PB# 00-202**

**First Columbia (SP)  
Hudson Valley Ave.  
Office Bldg.  
3-1-50**

Approved 10-1-01



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 10/02/2001

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
A [Disap, Appr]

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE  
APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
10/01/2001	PLANS STAMPED	APPROVED
06/28/2000	P.B. APPEARANCE	LA: SCHED PH
06/21/2000	WORK SHOP APPEARANCE	SUBMIT
06/14/2000	P.B. APPEARANCE	PRESUBMISSION TALK
06/07/2000	WORK SHOP APPEARANCE	SET PRESUBMISSION

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 10/02/2001

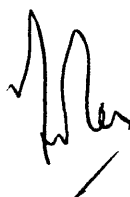
PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**ESCROW**

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE  
APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
06/14/2000	P.B. MINUTES	CHG	27.00		
06/23/2000	REC. CK1466 - FIRST COLUM	PAID		750.00	
06/28/2000	P.B. ATTY. FEE	CHG	35.00		
06/28/2000	P.B. MINUTES	CHG	36.00		
07/26/2000	P.B. ATTY. FEE	CHG	35.00		
07/26/2000	P.B. MINUTES	CHG	40.50		
04/03/2001	P.B. ENG	CHG	666.00		
10/01/2001	REC. CK. #1936	PAID		89.50	
		TOTAL:	839.50	839.50	0.00



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 10/02/2001

PAGE: 1

LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE

APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2001	2% OF COST EST. 136,982.2	CHG	2739.65		
10/01/2001	REC. CK. #1934	PAID		2739.65	
			-----	-----	-----
		TOTAL:	2739.65	2739.65	0.00



Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

RECEIPT  
#952-2001

10/02/2001

1000-202 approve See  
First Columbia L.L.C.

Received \$ 100.00 for Planning Board Fees on 10/02/2001. Thank you for stopping  
by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green  
Town Clerk

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/19/2001

PAGE: 1

LISTING OF PLANNING BOARD FEES

~~AS~~ FEE

2

of 3

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE  
APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2001	2% OF COST EST. 136,982.2	CHG	2739.65		
		TOTAL:	2739.65	0.00	2739.65

Check #3:

Town of N.W.

**FAXED**

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/19/2001

PAGE: 2

LISTING OF PLANNING BOARD FEES  
APPROVAL

of 3

FOR PROJECT NUMBER 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE  
APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2001	SITE PLAN APPROVAL FEE	CHG	100.00		
		TOTAL:	100.00	0.00	100.00

Check #2:

Town of N.W.

**FAXED**

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/19/2001

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LISTING OF PLANNING BOARD FEES  
ESCROW

of 3

FOR PROJECT NUMBER 0-202

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07/26/2000	P.B. MINUTES	CHG	40.50		
04/03/2001	P.B. ENG	CHG	666.00		
		TOTAL:	839.50	750.00	89.50

Check #1:  
Town of N.W.

**FAXED**

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/19/2001

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LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 0-202

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APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
09/19/2001	2% OF COST EST. 136,982.2	CHG	2739.65		
			-----	-----	-----
		TOTAL:	2739.65	0.00	2739.65

Give to Chris Bette 9/19/01



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/19/2001

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**APPROVAL**

FOR PROJECT NUMBER: 0-202

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09/19/2001	SITE PLAN APPROVAL FEE	CHG	100.00		
			-----	-----	
		TOTAL:	100.00	0.00	100.00

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07/26/2000	P.B. MINUTES	CHG	40.50		
04/03/2001	P.B. ENG	CHG	666.00		
		TOTAL:	839.50	750.00	89.50

# **Request for Site Plan Approval**

**for**

**1 Hudson Valley Avenue**



The Applicant, First Columbia, L.L.C. is seeking site plan approval to construct a 80,000 S.F. professional office building located on 4.2 acres of land at New York International Plaza. New York International Plaza is located in the Town of New Windsor, Orange County, New York.

New York International Plaza is a proposed redevelopment of the former Stewart Army Subpost lands recently vacated by the Federal Government. The former subpost supported a mixed-use development including approximately:

- 102,000 s.f. Office space
- 177,000 s.f. Housing space
- 133,000 s.f. misc. commercial uses
- 50 room Hotel

Recently the Federal government performed a demolition program reducing the square foot of housing space. Approximately 35,000 s.f of housing space was demolished and restored back to grass area.



**FIRST COLUMBIA**

**00-202**

## **Property Overview**

First Columbia, L.L.C. is seeking approval to develop the parcel of land situated at the intersection of Hudson Valley Ave. and World Trade Way -1 Hudson Valley Ave., in the Town of New Windsor. The project site is a portion of a lot referenced in the Orange County Tax Maps as 3-1-50, totaling 126 acres. Access to the site is from Hudson Valley Ave.

Currently, the property is occupied by four existing vacant structures and paved surface parking. The structures, previous uses and sizes are:

- Bldg. 2520, Chapel Annex. – 3400 s.f. w/ basement
- Bldg. 2518, Chaplains Office – 1850 s.f. w/ partial basement
- Bldg. 2516, Administration Bldg. – 5550 s.f. w/ partial basement
- Bldg. 2514, Administration Bldg. – 5550 s.f. w/ partial basement

The property is located within the Town's Airport -1 (AP-1) zoning district.

## **Project Overview**

The proposed use for the parcel is professional office with a maximum gross building area of 80,000 s.f. Professional office is an approved use in the AP-1 zoning district. The building is anticipated to be 3 ½ story, approximately sixty-five (65) feet in height. Parking is located adjacent to the building using a single level parking deck with surface parking below. A total of four hundred (400) parking spaces are provided.

The parcel is serviced by all major utilities including gas, electric, telephone, water and sanitary sewer. Most utilities are located within the road R.O.W., in some locations the sanitary sewer crosses through individual parcels. 1 Hudson Valley Ave. lies within the Town of New Windsor's water and sewer districts.

Site grading is designed to provide positive sheet flow drainage away from the building and either captured in a closed drainage system or open graded drainage swales. The closed drainage system will be in locations where sheet drainage will either cause flow off the property or where grade will prevent positive flow. The rooftops will be drained using internal roof drains



**FIRST COLUMBIA**

and will be hardpiped into the site drainage system. The drainage system and swales will tie into the New York International Plaza storm sewer infrastructure and outlet into a regional detention basin.

The building tenants will participate in a Recycling Program, minimizing the solid waste disposal quantity. It is not anticipated that any tenant will be storing, producing or disposing of any chemicals or waste not generally associated with professional office use.

The building will provide a view of the Airport and the Hudson Valley. Parking is located behind the building to provide an attractive streetscape. Care will be taken in the design to provide a visually appealing approach from both the Bruenig Rd. corridor and Hudson Valley Ave, while maintaining the views from within the building.

The hours of operation are expected to be typical business hours, 8:00 a.m. to 5:00 p.m., Monday through Friday.

### **Development Conclusions**

As proposed, the project will not significantly impact existing support services and utility infrastructure.

### **Utility Services**

Utility services, including water, sanitary sewer, electric and telephone are currently available within the right-of-way of Hudson Valley Avenue and World Trade Way, including a 12' water line and an 8" sanitary sewer, previously servicing the Stewart Army Subpost general offices and housing units located on the project site. As the Subpost operated 24 hours a day with personnel living on the base, the demands on services were significant and installations were sized accordingly. The proposed office will generate significantly lower demands on the water and sanitary sewer services than those from the previous housing units. Electric and telephone utilities, also currently servicing the existing facilities, will service the proposed structure, and be upgraded if required, to meet projected service demands.



**FIRST COLUMBIA**

### Traffic

The existing roadway network was built to accommodate the needs of an operating military base, generating significant residential and commercial traffic. The proposed office building will generate traffic volumes similar to those encountered on the former base, however, these volumes will be generated during peak hours only. Additionally, due to the proximity to the Stewart International Airport and the nature of the proposed development with provisions for the adjoining hotel conference centers, local support services including taxis and shuttle bus services will also be utilized to service the site, reducing total traffic volumes.

### Stormwater Management

The management of stormwater runoff will be accomplished through the installation of a network of on-site catch basins and drain lines discharging into the existing 15" storm sewer located within World Trade Way. This line increases to an 18" immediately east of the site and flows to the south and east, ultimately discharging through a 66" line into the existing detention basin located in the southeast corner of the project site, adjacent to Breunig Road. Provisions for stormwater detention, as required, will be outlined within the Master Plan and include the utilization of the existing basins and discharge facilities. A preliminary Stormwater Management Report is attached, modeling projected runoff flows for both pre and post-development conditions for a 2, 10, 25 and 100-year storm events.



**FIRST COLUMBIA**

JOB NO. 00N280  
DATE: 6/23/00

# STORM SEWER DESIGN

**ONE HUDSON VALLEY AVENUE \* NEW YORK INTERNATIONAL PLAZA \* NEW WINDSOR, NEW YORK**

Storm Frequency = 25 years

n= 0.01

PREPARED BY: C.BURKE

\* Manual Input of Data

* FROM POINT	* TO POINT	* DRAINAGE AREA (acres)	* "C" FACTOR	CA INCRE.	CA ACCUM.	* INLET TIME (min)	* RAIN- FALL (in/hr)	RUNOFF Q (cfs)	* INV UPPER (ft)	* INV. LOWER (ft)	* LENGTH (ft)	SLOPE (ft/ft)	* DIA (in)	CAPACITY (cfs)	VELOCITY (FULL FLOW) (ft/s)	FLOW TIME (min)
1	2	0.26	0.67	0.17	0.17	5.00	7.5	1.31	505.50	502.19	165.5	0.0200	15	11.873	9.683	0.285
3	2	0.89	0.89	0.79	0.97	5.00	7.5	7.25	503.30	501.71	159.0	0.0100	15	8.395	6.847	0.387
4	3	0.03	0.60	0.02	0.98	5.39	7.41	7.29	503.75	501.75	58.9	0.0340	15	15.47	12.617	0.078
2	5	0.00	0.60	0.00	0.98	5.47	7.39	7.27	501.61	499.98	162.7	0.0100	15	8.403	6.853	0.396
5	6	0.00	0.90	0.00	0.98	5.86	7.3	7.19	499.88	497.87	201.4	0.0100	15	8.387	6.84	0.491
6	7	0.00	0.90	0.00	0.98	6.35	7.19	7.08	497.77	497.42	34.8	0.0101	15	8.419	6.866	0.084
7	8	0.83	0.88	0.73	1.71	6.44	7.17	12.29	493.33	488.25	96.1	0.0529	15	19.302	15.742	0.102

## **Stormwater Management**

Stewart Development- 80K

Town of New Windsor, Orange County, NY

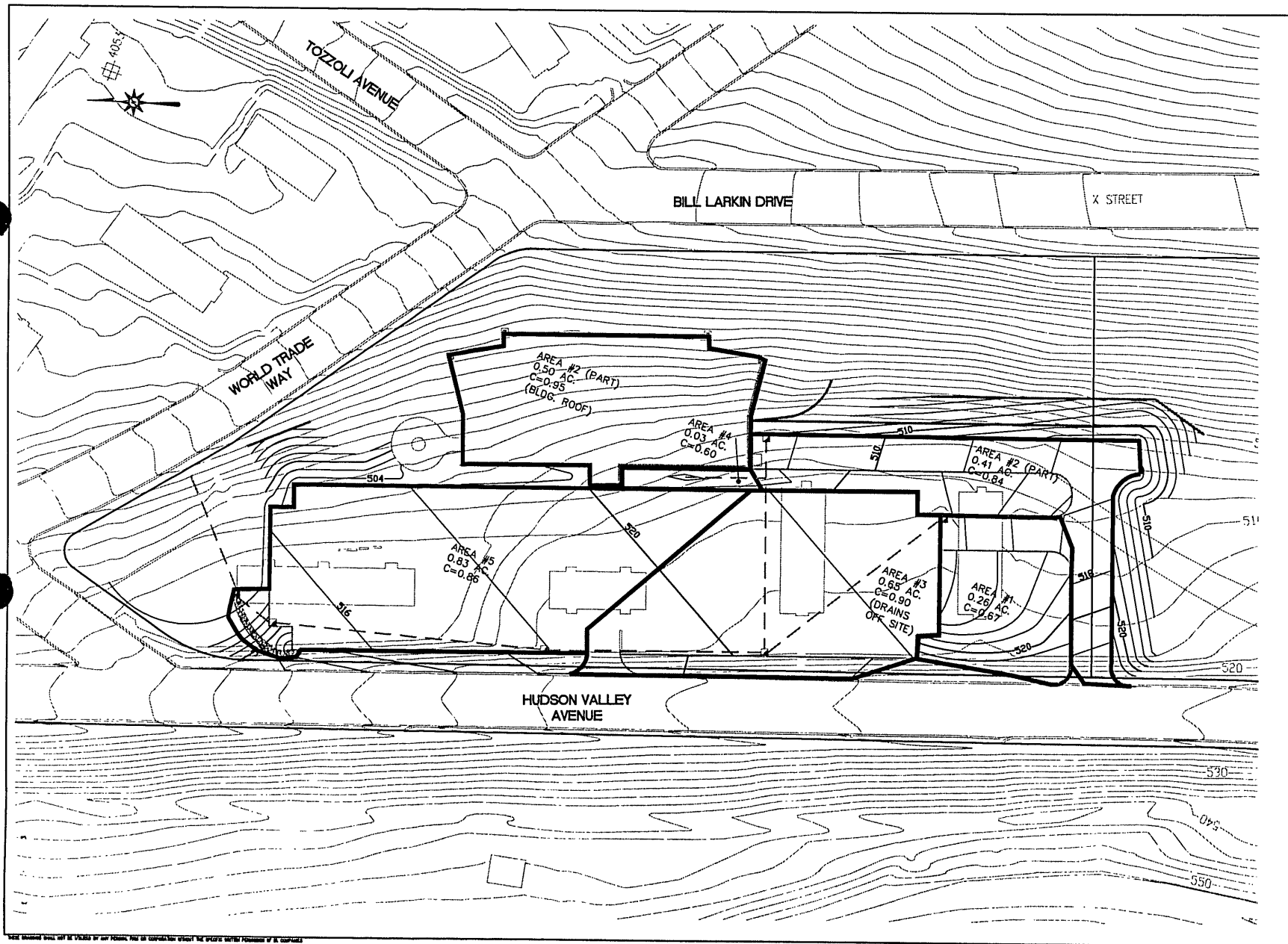
BL Companies

00N281

### **Drainage Area Summary**

	Pre-development Peak Flow (cfs)	Post-development Peak Flow (cfs)	Runoff Volume Pre-development (ft <sup>3</sup> )	Runoff Volume Post-development (ft <sup>3</sup> )	Increase in Runoff Volume (ft <sup>3</sup> )
2 Year	13.45	15.06	51,400.8	57,499.2	6,098.4
10 Year	25.26	26.97	96,267.6	102,801.6	6,534.0
25 Year	31.22	32.91	118,918.8	125,452.8	6,534.0
100 Year	37.17	38.82	141,570.0	148,104.0	6,534.0





ARCHITECTURE  
ENGINEERING  
PLANNING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ENVIRONMENTAL SERVICES  
ANALYTICAL SERVICES

80 Washington Street, Suite 210  
Hightstown, NJ 08520  
(609) 426-7100  
(609) 426-7101 Fax

# PROPOSED DRAINAGE AREA MAP NEW YORK INTERNATIONAL PLAZA ONE HUDSON VALLEY AVENUE TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

1

Designed	C.B.B.
Drawn	C.B.B.
Checked	R.E.A.
Approved	R.A.L.
Scale	NONE
Project No.	020200
Date	5/23/00
CAD File	PD216001

Sheet No.

PD-1

**State Environmental Quality Review  
FULL ENVIRONMENTAL ASSESSMENT FORM**

**Purpose:** The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

**Full EAF Components:** The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially large, then Part 3 is used to evaluate whether or not the impact is actually important.

**DETERMINATION OF SIGNIFICANCE - Type 1 and Unlisted Actions**

**Identify the Portions of EAF completed for this project:**    ☒ Part 1    ☐ Part 2    ☐ Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonable determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which will not have a significant impact on the environment, therefore **a negative declaration will be prepared.**
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore **a CONDITIONED negative declaration will be prepared.\***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore **a positive declaration will be prepared.**

A Conditioned Negative Declaration is only valid for Unlisted Actions.

\_\_\_\_\_  
Name of Action

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Date

**PART 1 - PROJECT INFORMATION**  
Prepared by Project Sponsor

**NOTICE:** This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION <i>Professional Office Building Site Plan Approval</i>		
LOCATION OF ACTION <i>1 Hudson Valley Ave.</i>		
NAME OF APPLICANT/SPONSOR <i>First Columbia L.L.C.</i>		BUSINESS TELEPHONE <i>(518) 452-1664</i>
ADDRESS <i>210 Washington Ave. Ext.</i>		
CITY/PO <i>Albany</i>	STATE <i>NY</i>	ZIP CODE <i>12203</i>
NAME OF OWNER (if different) <i>Town of New Windsor</i>		BUSINESS TELEPHONE <i>(914) 563-4611</i>
ADDRESS <i>555 Union Ave.</i>		
CITY/PO <i>New Windsor</i>	STATE <i>NY</i>	ZIP CODE <i>12553</i>
DESCRIPTION OF ACTION <i>Construction of a 80,000 s.f. professional office building with associated parking on a 4 acre site.</i>		

**Please Complete Each Question - Indicate N.A. if not applicable.**

**A. Site Description**

Physical setting of overall project, both developed and undeveloped areas.

1. Present Land Use: ☐ Urban      ☐ Industrial      ☒ Commercial      ☒ Residential      ☐ Rural (non-farm)  
☐ Forest      ☐ Agricultural      ☐ Other

2. Total acreage of project area: 4.2 acres

**APPROXIMATE ACREAGE**

Meadow or Brushland (Non-Agricultural)

**PRESENTLY**

**AFTER COMPLETION**

Forested

Agricultural (includes orchards, cropland, pasture, etc.)

Wetland (freshwater or tidal as per Articles 24, 25 of ECL)

Water Surface Area

Unvegetated (rock, earth fill)

Roads, buildings and other paved surfaces

Other (Indicate type: lawn, landscaped areas)

2.0 acres

.2 acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

\_\_\_\_\_ acres

.68 acres

2.0 acres

1.5 acres

2.0 acres

3. What is predominant soil type(s) on project site: Mardin
- a. Soil drainage: ☐ Well drained \_\_\_\_\_ % of site      ☒ Moderately well drained 100 % of site  
☐ Poorly drained \_\_\_\_\_ % of site
- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? N/A acres
4. Are there bedrock outcroppings on project site? ☐ Yes      ☒ No
- a. What is depth to bedrock? +5 feet

5. Approximate percentage of proposed project site with slopes: ☒ 0-10% 6 % ☒ 10-15% 6 %  
☒ 15% or greater 58 %
6. Is project substantially contiguous to or contain a building site, or district, listed on the State or National Registers of Historic Places? ☐ Yes ☒ No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? ☐ Yes ☒ No
8. What is the depth of the water table? +5 (in feet)
9. Is site located over a primary, principal, or sole source aquifer? ☐ Yes ☒ No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? ☐ Yes ☒ No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered? ☐ Yes ☒ No  
According to Final Environmental Assessment Stewart Army Subpost Divestiture
12. Are there any unique or unusual land forms on the project site? (i.e. cliffs, dunes, or other geological formations) ☐ Yes ☒ No
13. Is the project site presently used by the community or neighborhood as an open space or recreation area? If yes, explain: ☐ Yes ☒ No
14. Does the present site include scenic views known to be important to the community? ☐ Yes ☒ No
15. Streams within or contiguous to the project area: Yes  
a. Name of Stream and name of River to which it is tributary: Gillick Brook, Beaver Dam Lake & Unnamed, Lake Washington
16. Lakes, ponds, wetland areas within or contiguous to project area: Yes  
a. Name: Town of New Windsor Water Treatment Plant b. Size (in acres): .29 acres
17. Is the site served by existing public utilities? ☒ Yes ☐ No  
a. If Yes, does sufficient capacity exist to allow connection? ☒ Yes ☐ No  
b. If Yes, will improvements be necessary to allow connection? ☐ Yes ☒ No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law 25-AA, Section 303 and 304? ☐ Yes<sup>1</sup> ☒ No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? ☐ Yes ☒ No
20. Has the site ever been used for the disposal of solid or hazardous waste? ☐ Yes ☒ No

## B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)
- Total contiguous acreage owned or controlled by project sponsor: 260 acres.
  - Project acreage to be developed: 4.0 acres initially; 4.0 acres ultimately.
  - Project acreage to remain undeveloped: .2 acres.
  - Length of project in miles: N.A. (if appropriate).
  - If the project is an expansion, indicate percent of expansion proposed: N.A. %.
  - Number of off-street parking spaces existing: 20; proposed: 400.
  - Maximum vehicular trips generated per hour: 119 *P.M. peak* (upon project completion).
  - If residential, number and type of housing units:
- |            | One Family  | Two Family  | Multiple Family | Condominium |
|------------|-------------|-------------|-----------------|-------------|
| Initially  | <u>N.A.</u> | <u>N.A.</u> | <u>N.A.</u>     | <u>N.A.</u> |
| Ultimately | <u>N.A.</u> | <u>N.A.</u> | <u>N.A.</u>     | <u>N.A.</u> |
- Dimensions (in feet) of largest proposed structure: 65 ft height; 100 ft width; 235 ft length.
  - Linear feet of frontage along a public thoroughfare project will occupy is: 1510 feet.

2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 1575 cubic yards.
3. Will disturbed areas be reclaimed? ☒ Yes ☐ No  
 a. If Yes, for what intended purpose is site being reclaimed? Lawn Areas  
 b. Will topsoil be stockpiled for reclamation? ☒ Yes ☐ No  
 c. Will upper subsoil be stockpiled for reclamation? ☒ Yes ☐ No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 2 acres.
5. Will any mature forest (over 100 years old) or other locally important vegetation be removed from site? ☐ Yes ☒ No
6. If single-phase project, anticipated period of construction: 10 months (including demolition).
7. If multi-phased: N.A. months  
 a. Total number of phases anticipated: N.A.  
 b. Anticipated date of commencement of phase one: N.A. month, N.A. year.  
 c. Approximate completion date of final phase: N.A. month, N.A. year.  
 d. Is phase one functionally dependent on subsequent phases? ☐ Yes ☒ No
8. Will blasting occur during construction? ☐ Yes ☒ No
9. Number of jobs generated - during construction: 20; after project is complete: 350(+/-).
10. Number of jobs eliminated by this project: 0.
11. Will project require relocation of any projects or facilities? ☐ Yes ☒ No  
 If Yes, explain: N.A.
12. Is surface liquid waste disposal involved? ☒ Yes ☐ No  
 a. If Yes, indicate type of waste (sewage, industrial, etc.) and amount: Sanitary Sewage - 6000 gpd  
 Name of water body into which effluent will be discharged: Town of New Windsor STP
13. Is subsurface liquid waste disposal involved? ☐ Yes ☒ No
14. Will surface area of an existing body of water increase or decrease by proposal? ☐ Yes ☒ No  
 If Yes, explain: N.A.
15. Is project or any portion of project located in a 100-year floodplain? ☐ Yes ☒ No
16. Will project generate solid waste? ☒ Yes ☐ No  
 a. If Yes, what is the amount per month? 8 tons  
 b. If Yes, will an existing solid waste facility be used? ☒ Yes ☐ No  
 c. If Yes, give name: Newburg Transfer Station; location: Newburg, NY  
 d. Will any wastes **not** go into a sewage disposal system or into a sanitary landfill? ☒ Yes ☐ No  
 If Yes, explain: Recyclables will be taken to Hudson Baylor Recycling
17. Will project involve the disposal of solid waste? ☐ Yes ☒ No  
 a. If Yes, what is the anticipated rate of disposal? N.A. tons/month  
 b. If Yes, what is the anticipated site life? N.A. Years
18. Will project use herbicides and pesticides? ☐ Yes ☒ No
19. Will project routinely produce odors (more than one hour per day)? ☐ Yes ☒ No
20. Will project produce operating noise exceeding the local ambient noise levels? ☐ Yes ☒ No
21. Will project result in an increase in energy use? ☒ Yes ☐ No  
 If Yes, indicate type(s): electricity and fuel for heating, air conditioning, and lighting.
22. If water supply is from wells, indicate pumping capacity: N.A. gallons/minute
23. Total anticipated water usage per day: 4800 gallons/day
24. Does project involve Local, State or Federal funding? IDA funding may be applied for, if qualified. ☒ Yes ☐ No

### Approvals Required:

City, Town, Village, Board  
City, Town, Village, Planning Board  
City, Town, Zoning Board  
City, County Health Department  
Other Local Agencies  
Other Regional Agencies  
State Agencies  
Federal Agencies

☐ Yes ☒ No  
☒ Yes ☐ No  
☐ Yes ☒ No  
☐ Yes ☐ No  
☒ Yes ☐ No  
☐ Yes ☒ No  
☐ Yes ☒ No  
☐ Yes ☒ No

### Type

Site Plan  
  
Building & utility Permits

### Submittal

Pending  
  
Pending

### C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? ☒ Yes ☐ No  
If Yes, indicate decision required:  
☐ zoning amendment ☐ zoning variance ☐ special use permit ☐ subdivision ☒ site plan  
☐ new/revision of master plan ☐ resource management plan ☐ other
2. What is the zoning classification(s) of the site? Airport -1 (AP-1)
3. What is the maximum potential development of the site if developed as permitted by the present zoning?  
3.6 acres
4. What is the proposed zoning of the site? N.A.
5. What is the maximum potential development of the site if developed as permitted by the proposed zoning? N.A.
6. Is the proposed action consistent with the recommended uses in adopted local land use plans? ☒ Yes ☐ No
7. What are the predominant land uses and zoning classifications within one-quarter mile?  
Administration Buildings (Vacant), Army Housing Units (Vacant), Chapel (vacant)
8. Is the proposed action compatible with adjoining/surrounding land uses within a quarter mile? ☒ Yes ☐ No
9. If the proposed action is a subdivision of land, how many lots are proposed? N.A.  
What is the minimum lot size proposed? N.A.
10. Will proposed action require any authorization(s) for the formation of sewer or water districts? ☐ Yes ☒ No
11. Will proposed action create a demand for any community provided services (recreation, education, police, fire protection)? ☒ Yes ☐ No  
a. If Yes, is existing capacity sufficient to handle projected demand? ☒ Yes ☐ No
12. Will proposed action result in the generation of traffic significantly above present levels? ☒ Yes ☐ No

### D. INFORMATION DETAILS

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

### E. VERIFICATION

I certify that the information provided here is true to the best of my knowledge.

Applicant/Sponsor Name: First Columbia L.L.C.

Date: June 20, 2000

Signature: 

Title: Project Manager

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

X:\STANDARD\EnviroPlan\SEQR\Eafpart1.doc

AS OF: 03/21/2001

PAGE: 1

## CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 0- 202

FOR WORK DONE PRIOR TO: 03/21/2001

								-----DOLLARS-----			
TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
.....											
0-202	158287	06/07/00	TIME	MJE	WS FIRST COLUM OFF BLDG	80.00	0.40	32.00			
0-202	159483	06/21/00	TIME	MJE	WS 1 HUDSON VALLEY	80.00	0.30	24.00			
0-202	161121	06/28/00	TIME	MJE	MC FIRST COL SITE PLAN	80.00	1.00	80.00			
0-202	161123	06/28/00	TIME	MJE	MM FIRST COLUMBIA	80.00	0.40	32.00			
0-202	160272	07/03/00	TIME	MJE	MC FIRST COLUMBIA	80.00	0.20	16.00			
0-202	160287	07/06/00	TIME	MJE	WS FIRST COLUM SPEC/WS	80.00	0.60	48.00			
0-202	161193	07/12/00	TIME	MJE	MC L/A COORD FIRST COL	80.00	0.70	56.00			
0-202	162352	07/24/00	TIME	MJE	MC OFFICE SITE PLAN	80.00	0.70	56.00			
0-202	161146	07/26/00	TIME	MJE	MM F/C 1 HV Av Cond APP	80.00	0.10	8.00			
0-202	162327	07/26/00	TIME	MJE	MC OFFICE SITE PLAN	80.00	0.40	32.00			
0-202	162330	07/26/00	TIME	MJE	MC TC/JIM SPERRY 1ST C	80.00	0.20	16.00			
0-202	162353	07/27/00	TIME	MJE	MC FIRST COLUM SEQRA	80.00	0.20	16.00			
0-202	163049	08/08/00	TIME	MJE	MC TC/MYERSON	80.00	0.30	24.00			
								440.00			
0-202	163094	08/16/00			BILL 00-781					-416.00	
											-416.00
0-202	165155	09/06/00	TIME	MJE	MC FIRST COL STAT REV	80.00	0.20	16.00			
								16.00			
0-202	165512	09/18/00			BILL 00-871					-40.00	
											-40.00
0-202	168380	10/20/00	TIME	MJE	MC FIRST COLUMBIA S/P	80.00	0.50	40.00			
								40.00			
0-202	170128	11/22/00			BILL 00-1108					-40.00	
											-40.00
0-202	174790	01/17/01	TIME	MJE	MC FIRST COL APP STATUS	85.00	0.50	42.50			
0-202	174794	01/18/01	TIME	MJE	MC REV COST EST/MEMO	85.00	0.50	42.50			
								85.00			
0-202	176494	02/23/01			BILL 01-212					-85.00	
											-85.00
TASK TOTAL								581.00	0.00	-581.00	0.00
.....											
GRAND TOTAL								581.00	0.00	-581.00	0.00

closeout 3/21/01

85.00  
~~581.00~~  
 666.00

## Cost Estimate

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
<u>PARKING ACCESS:</u>			
A) Concrete Curbing	285 l.f.	\$10.00 l.f.	\$2,850.00
C) Asphalt Paving	74,069 sq.f	\$1.12 sq.ft	\$82,957.28
D) Striping and Space Delineation	200 sp.	\$8.00 sp.	\$1,600.00
E) Handicap Parking Sign and Delineation	8 sp.	\$125.00 sp.	\$1,000.00
F) Stop Sign	1 ea.	\$100.00 ea.	\$100.00
G) Project Sign	2 ea.	\$1,000.00 ea.	\$2,000.00
H) Stormwater Catch Basins	7 ea.	\$1,000.00 ea.	\$7,000.00
I) Concrete Sidewalk	0 s.f.	\$3.90 s.f.	\$0.00
J) 15" CPEP	880 l.f.	\$20.00 l.f.	\$17,600.00
K) 12" CPEP	0 l.f.	\$20.00 l.f.	\$0.00
Sub-Total			\$115,107.28



**Cost Estimate**

Page 2 of 2

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
<u>LANDSCAPING:</u>			
A) Trees	43 ea.	\$125.00 ea.	\$5,375.00
B) Shrubs	300 ea.	\$25.00 ea.	\$7,500.00
C) Lithonia KSF1 250 Watt Metal Halide	10 ea.	\$900.00 ea.	\$9,000.00
Sub-Total			\$21,875.00
GRAND TOTAL			<u>\$136,982.28</u>



**McGOEY, HAUSER and EDSALL**  
**CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

LICENSED IN NEW YORK, NEW JERSEY  
and PENNSYLVANIA

**□ Main Office**

45 Quassauck Ave. (Route 9W)  
New Windsor, New York 12553  
(845) 562-8640  
e-mail: mheny@att.net

**□ Regional Office**

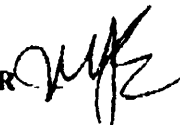
507 Broad Street  
Milford, Pennsylvania 18337  
(570) 296-2765  
e-mail: mhepa@ptd.net

**MEMORANDUM**

(via fax)

18 January 2001

**TO: MYRA MASON, PLANNING BOARD SECRETARY**

**FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER** 

**SUBJECT: FIRST COLUMBIA OFFICE BUILDING SITE PLAN**  
**NWPB APP. NO. 00-202**

This will confirm our review of the subject application. Also, I have reviewed the improvement cost estimate submitted. Please note the following comments regarding the application:

1. I have marked-up the site cost estimate such that the content and the unit costs are consistent with the standard schedule used for all applications. A copy is attached. The applicant should submit a corrected cost estimate.
2. The Planning Board included a condition of approval that a note would be added to the plan regarding upsizing of off-site drainage piping as necessary. The note should be added to sheet GU-1, in a note "box" similar to the two notes already on the lower right hand corner of the sheet. The note should read:  
"The applicant will, in addition to the improvements shown on the plans, upsize the off-site drainage piping downstream of this site with piping in conformance with the Overall Drainage Master Plan for New York International Plaza, as approved by the Town. Timing for construction of these off-site improvements shall be as approved by the Town."
3. The note on sheet GU-1 regarding clearance for fire trucks should be revised. Change the sentence to read:  
"A minimum clearance of 12 ft. shall be maintained in all driving areas of the parking structure for access by fire and other emergency vehicles."

4/18/01 11:01 AM  
MJE:st

**FAXED**

*Chris Betts 1/18/01*

Hudson Valley Ave.

## Cost Estimate

First Columbia L.L.C.  
210 Washington Ave Ext.  
Albany, NY 12203

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
<u>PARKING ACCESS:</u>			
A) Concrete Curbing	285 l.f.	\$10.00 l.f. ✓	\$2,850.00
C) Asphalt Paving	74,069 sq.f	\$1.12 sq.ft ✓	\$82,957.28
D) Striping and Space Delineation	200 sp.	\$8.00 sp. ✓	\$1,600.00
E) Handicap Parking Sign and Delineation	8 sp.	<sup>125</sup> <del>\$100.00</del> sp.	<sup>1000</sup> <del>\$800.00</del>
F) Stop Sign	1 ea.	<sup>100</sup> <del>\$65.00</del> ea.	<sup>100</sup> <del>\$65.00</del>
G) Project Sign	2 ea.	\$1,000.00 ea.	\$2,000.00
H) Stormwater Catch Basins	7 ea.	<sup>1000</sup> <del>\$800.00</del> ea.	<sup>7000</sup> <del>\$5,600.00</del>
I) Concrete Sidewalk	0 s.f.	<sup>3.90</sup> <del>\$3.50</del> s.f.	\$0.00
J) 15" CPEP	880 l.f.	<sup>20</sup> <del>\$39.00</del> l.f.	<sup>17600</sup> <del>\$34,320.00</del>
K) 12" CPEP	0 l.f.	<sup>20</sup> <del>\$36.00</del> l.f.	\$0.00
<del>L) 8" Sanitary Sewer</del>	<del>448 l.f.</del>	<del>\$25.00 l.f.</del>	<del>\$10,450.00</del>
<del>M) Sanitary Manholes</del>	<del>3 ea.</del>	<del>\$880.00 ea.</del>	<del>\$2,640.00</del>
<del>N) 8" Waterline</del>	<del>335 l.f.</del>	<del>\$30.00 l.f.</del>	<del>\$10,050.00</del>
Sub-Total			\$141,202.28

9/5/00

1 HVA Town Cost Estimate Sht.

00-202

Hudson Valley Ave.

## Cost Estimate

First Columbia L.L.C.  
210 Washington Ave Ext.  
Albany, NY 12203

Page 2 of 2

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL</u>
<u>LANDSCAPING</u>			
A) Trees	43 ea.	<sup>125</sup> <del>\$180.00</del> ea.	<sup>5375</sup> <del>\$7,740.00</del>
B) Shrubs	300 ea.	<sup>25</sup> <del>\$20.00</del> ea.	<sup>7500</sup> <del>\$6,000.00</del>
C) Lithonia KSF1 250 Watt Metal Halide	10 ea.	<sup>900</sup> <del>\$1,200.00</del> ea.	<sup>9000</sup> <del>\$12,000.00</del>
Sub-Total			\$28,740.00
GRAND TOTAL			<u>\$169,942.23</u>

9/5/00

1 HVA Town Cost Estimate Sht.

TOTAL P.05

00-202



September 15, 2000

Town of New Windsor  
Planning Board  
555 Union Avenue  
New Windsor, New York 12553

Attn: Mark Edsall, P.E.

Re: New York International Plaza  
1 Hudson Valley Avenue  
Project Number 00-202

Dear Mr. Edsall:

Enclosed, please find eight (8) sets of revised Site Plans for the above referenced project. BL Companies has made the following revisions and modifications pursuant to your review comments dated 26 July, 2000:

- ☐ A note has been added to the Site Plan, Sheet SP-1, indicating that a total of 400 spaces shall be provided upon determination of the configuration of the lower lever of the proposed parking deck.
- ☐ The location and layout of handicapped parking spaces has been noted on the Site Plan, Sheet SP-1.
- ☐ A note has been added to the Grading, Utilities and Erosion Control Plan, Sheet GU-1, indicating a minimum of 12 ft. clear to be maintained within the lower level of the proposed parking deck to accommodate fire equipment.
- ☐ The bar scale shown on the Sanitary Relocation Plan, Sheet SR-1 has been corrected to match the scale shown within the title block.
- ☐ It is our understanding that the Town of New Windsor will determine if the Sanitary Relocation Plan must be submitted to the NYSDEC.

If you have any questions or would like additional information, please contact me at your earliest convenience.

Sincerely;



James Sperry  
Senior Project Manager

cc: Chris Bette, First Columbia  
Tim O'Brien, BL Companies

80 Washington Street, Suite 310 Poughkeepsie, NY 12601 Tel. (914) 485-7088 Fax (914) 485-7131 Toll Free (888) 830-9272

Architecture • Engineering • Planning • Landscape Architecture • Land Surveying • Environmental Services • Analytical Services

RESULTS OF P.B. MEETING OF: July 26, 2000

PROJECT: First Columbia - 1 Hud. Valley Ave P.B.# 00-202

**LEAD AGENCY:**

1. AUTHORIZE COORD LETTER: Y\_\_ N\_\_
2. TAKE LEAD AGENCY: Y\_\_ N\_\_

M)\_\_\_S)\_\_\_ VOTE: A\_\_ N\_\_  
CARRIED: YES\_\_ NO\_\_

**NEGATIVE DEC:**

M) LU S) B VOTE: A 5 N 0  
CARRIED: YES ✓ NO\_\_

Close WAIVE PUBLIC HEARING: M) LU S) A VOTE: A 5 N 0 Close WAIVED: Y ✓ N\_\_

SCHEDULE P.H. Y\_\_ N\_\_

SEND TO O.C. PLANNING: Y\_\_

SEND TO DEPT. OF TRANSPORTATION: Y\_\_

REFER TO Z.B.A.: M)\_\_\_S)\_\_\_ VOTE: A\_\_ N\_\_

RETURN TO WORK SHOP: YES\_\_ NO\_\_

**APPROVAL:**

M)\_\_\_S)\_\_\_ VOTE: A\_\_ N\_\_ APPROVED: \_\_\_\_\_

M) LU S) A VOTE: A 5 N 0 APPROVED CONDITIONALLY: 7-26-00

NEED NEW PLANS: Y\_\_ N\_\_

**DISCUSSION/APPROVAL CONDITIONS:**

	Note on plan - Upsize drain pipe once Master Plan calculated
OK	Need detail of Lower deck Parking or Note on Plan - sub to Mark.
	No Public Present
	Scale Corrected
	Cost Estimate
OK	Grading Plan Corrected ✓

As of 1-17-01 Need Note re: drain pipe on plan - Need Memo fr. Mark

FIRST COLUMBIA SITE PLAN (00-202) 1 HUDSON VALLEY  
AVENUE

Mr. James Sperry and Mr. Chris Bette appeared before the board for this proposal.

MR. PETRO: Construction of 4 1/2 story 85,000 square foot office building with a single level parking deck. Again, this is a public hearing and at the appropriate time, we'll open it up to the public.

MR. SPERRY: Jim Sperry with BL Companies. I will let Mark go through the comments but in general, the comments on this particular application stems around some grading issues, clarification of the grading and I want to note that this is the, there still are some areas that are gray so we're suggesting we're going to walk through the plan with engineering and look at those areas to clarify anything that may be outstanding. But basically, one of the key issues was ingress egress into the parking deck and whether we were going to provide adequate clearance for fire apparatus and whatever. We have indicated a note that we're going to have a minimum of 12 foot clearance from the ground deck elevation to the lowest point within the structure itself. The final architectural plans for this will have to show that and we'll put an additional note on the site plan indicating the same. Additionally, there were some concerns on utilities. First was sanitary line, as the sanitary line in our last presentation actually ran underneath the parking deck itself, we have revised that now so that we pick up the line, we run it up into the front of the building, we open space up between the parking deck and the structure and we run it in front of the structure and then we connect to one of the existing manholes, again, on the parking deck. And then functionally, there was a concern about a storm line that ran through this area and the fact is that that storm line is inactive, so it's going to be removed. And then we have indicated a new storm system that picks up the parking deck above and below and discharge that into the World Trade Way. I think they were the primary comments last time, let Mark go into detail if he'd like to.

MR. PETRO: Go ahead, Mark.

MR. EDSALL: For this application, I'm noting again that is in the AP1 zone, they have corrected the bulk table as requested. The only outstanding question is relative to the height of up to 90 feet, I haven't seen the final adopted bulk table so we'll assume that that is the correct number and we can always verify that once we get the final table. There is in addition to the bulk table on the sheet SP-1, there's another bulk table on sheet EX-1, I'm suggesting that just be eliminated so that doesn't get confusing. Sheet SP-1 as well I have reviewed regarding parking and they are showing the parking spaces on the upper level, basically, the deck level and it seems to provide 204 spaces, they are indicating there's a total of 400, there's no verification that the parking layout under the deck is the same. If we assume it is, we'll have over the 400. Maybe we can get a note to that effect as well so that it's clear that they have to construct that number in that location. One of the open items that needs to be addressed and maybe they'll lose some of the excess spaces is providing handicapped spaces. There is none shown on the plan, they have details but none are located. As Jim indicated, there was an issue raised by Bob Rogers regarding access for fire equipment that could be addressed by a note so Bob could write off on the plan. Comment 3, the site plan and utility grading plan I performed followup review. There's still some areas where I need to work with the applicant to make sure that the grading is clear. I can't follow a couple areas, but other than that, all the other issues have been taken care of so all the utility questions have been resolved by changes to the plans. As I note in comment 4, they have given us a separate sewer relocation plan. I believe the correct scale is 1 to 30, at least that's what I'm working on the premise of and the plan does provide in my opinion an acceptable layout for relocation of the sewer and provides for access between the parking garage and the building with suitable access to perform maintenance or repair. The only outstanding question would be whether or not DEC is going to require an application and approval for relocation as it may be called in kind. I



don't believe so if the board cares to go on the premise that the DEC will not require one then you're the only agency that's involved to my knowledge and you could proceed through SEQRA and by some order chance, if they require an application, we can deal with that at some time in the future. But I don't believe they are going to require it. Comment 5 noting that the detail sheets have been corrected so all the various comments I had have been resolved. And 6 deals with SEQRA. And as I indicated, you have gotten a full EAF, you have gotten project narrative, I believe you're the only involved agency, assuming DEC will not review the relocation and at this point, you should look at making a determination of significance and similar to the previous application, I do believe there will be a need to upsize the 12 inch storm line that this is being connected into.

MR. PETRO: Note put on the plan when they do the entire--

MR. EDSALL: This is the site specific, we're not going to get another application on this, so we may just have to say that they'll have to upsize the pipe per the drainage master plan and they'll have to have that done by the time they are ready to build it.

MR. PETRO: Including this in the master plan I'm sure.

MR. EDSALL: Fairly decent system and there are a lot of branch runs so they can pretty much analyze individual branches at a time and address the problems locally and look at the whole picture later on if they have to. So it can be resolved quickly, I think that's it, it's in good shape.

MR. PETRO: First comment I want to make is I collect paintings and in the paintings I like ships. So that fella that sells the paintings knows that. So he calls and says make sure you come down, I have a beautiful painting. And I go down and it's just a beautiful painting with mountains and water. I said where's the ships? He says they're coming around the mountain. The reason I bring that up there should be another plan showing the layout of the bottom level or a note that

it's identical or something to indicate, we have no idea right now you're showing us 200 spaces and there should be 400, there should be a layout of the deck below.

MR. SPERRY: If I can address that to the board, as the final architectural plans are done for the deck, it's clearly the final layout is going to be driven by the structural to support the deck and we're aware, we know that we can accommodate that, but exactly how we lay it out, so if we can add a note on and prior to the issuance of a building permit in fact we'll demonstrate that we do have the capacity, all right, which is really the only issue here, the capacity to clear this in and both will be shown.

MR. PETRO: Capacity to hold the cars up on the upper deck?

MR. SPERRY: Talking about the capacity to park in the--

MR. PETRO: The number of vehicles?

MR. SPERRY: And layout that would be shown once we have gotten the column locations and exactly how the spaces are going to be laid out.

MR. PETRO: Underneath.

MR. SPERRY: We know we can do it but until we know where the columns are located, it's impossible to say this is going to be here.

MR. PETRO: Once you have that, can you give us a sketch plan?

MR. SPERRY: Absolutely.

MR. EDSALL: We should have a note that would cover it, I guess on the handicapped, you really can't lay it out either, is your handicapped access from both levels, I would assume?

MR. SPERRY: Yes and in fact, we have done some layouts

with the handicaps, we didn't have it in drafting, we have indicated that on these.

MR. EDSALL: I'd assume you'd have half and half, so we just have to make sure they are included on the other plan.

MR. PETRO: That's a pretty large-sized parking area, keep in mind I believe the handicapped has to be within 200 feet of the main entrance.

MR. SPERRY: Right and we'd put them right by the door. We appreciate you working with us, again, it's because of the structural nature how the columns lay out, again, that's being determined right now.

MR. PETRO: This is a public hearing. At this time, I'd like to open it up to the public. On 7/14, seven addressed envelopes contained attached notice of public hearing were mailed and if there's anyone here that would like to speak on behalf of the application, raise your hand and be recognized by the Chair. Let the minutes show no one is here at all. I will entertain a motion to close the public hearing.

MR. LUCAS: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board close the public hearing for the First Columbia site plan.

#### ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: At this time, we can move forward with the SEQRA process, do a negative dec. Can I have a motion?

MR. LUCAS: Make it.

MR. BRESNAN: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec under the SEQRA process for the First Columbia site plan on 1 Hudson Valley Avenue. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: Any further comments from the board members? We have highway approval on 7/26/2000 and we have fire approval on 7/25/2000. Mark, do you want to review some of this again and do both of these projects at the next meeting? Would you feel more comfortable with that?

MR. EDSALL: To be honest on this one, all I have as open items would be the site plan estimate which is just a normal procedural item for closing it out, drainage note and a parking note.

MR. PETRO: Well, you have the one 12 inch pipe that you said was inadequate, we need to get that done.

MR. EDSALL: That can be handled by a note, we don't know the exact size until the calculations are finished and the drainage analysis that they are currently performing for the overall area, so other than the minor correction of the grading plan and these couple notes, I don't know that there's anything else outstanding.

MR. PETRO: Mr. Argenio, last time you had some concerns with the sewer line running underneath since widening out the green area between the parking area and building now have it running through the center of that, is there any manholes and is it accessible?

MR. SPERRY: Yes, there are manholes on the line and they are accessible from the parking lower level and from the access drive at this point.

MR. PETRO: And the main line is only going under the vestibule area?

MR. SPERRY: Exactly.

MR. PETRO: Do you have any other comment? That seems to be addressed, right?

MR. ARGENIO: Right.

MR. LANDER: What kind of retaining wall are we going to have on the upper deck? I looked for a detail, I didn't see it.

MR. SPERRY: On the parking structure itself that's going to be part of the architectural design as to whether it's going to be open face or whether this entire back area is built as an enclosed wall, it's up to the jury right now.

MR. PETRO: Mike, do you have anything else?

MR. LUCAS: Just the same thing, 911 and maybe flag pole, that's it.

MR. PETRO: Drainage along Bill Larkin Drive, always amazes me when I say that, landscaping, did I say landscaping or drainage, I said drainage but landscaping is what I meant to say, do you have a landscaping plan?

MR. SPERRY: Yes, this is the landscaping plan and what we're doing is first there are some beautiful trees along here now that are going to remain and then we have come in along the corners of the building, tried to accent the particular corners of the building with ornamental trees and shrubs and then we have also got a little sitting area off one end of the building with small ornamental trees.

MR. PETRO: Mark, the lighting plan, satisfied with that?

MR. EDSALL: Yes.

MR. LANDER: And the dumpster enclosure is going to be where, at the back of the service drive?

MR. SPERRY: Exactly and it's shown as being in an enclosure as well.

MR. PETRO: Someone can give me a motion, I can do the subject-to's.

MR. LUCAS: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the first column site plan, 1 Hudson Valley Avenue, subject to the drainage once the master plan for the drainage system being completed that the sizing of the pipe that Mark's questioning the 12 inch now is going to be upgraded and note be put on the plan, and secondly that the parking detail for the lower deck also be included on the plan, with either a map of it and/or a note that satisfies the planning board engineer, one or the other. Any bond estimates here, Mark?

MR. EDSALL: We'll have the site plan estimate and we've got the two issues on the grading plan, just couple areas which needed some correction and the scale was wrong and 911 as Mr. Lucas indicated, just having proper address.

MR. PETRO: He mentioned flag pole and Mr. Krieger, what do you normally say?

MR. KRIEGER: Flag.

MR. PETRO: Is there any further discussion? If not, roll call.

ROLL CALL

July 26, 1960

20

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE



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**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**PROJECT NAME:** FIRST COLUMBIA SITE PLAN  
(1 HUDSON VALLEY AVENUE)  
(A/K/A NEW YORK INTERNATIONAL PLAZA)

**PROJECT LOCATION:** STEWART INTERNATIONAL AIRPORT  
INTERNATIONAL BLVD, WORLD TRADE WAY  
SECTION 3 – BLOCK 1 – LOT 50 (PORTION OF)

**PROJECT NUMBER:** 00-202

**DATE:** 26 JULY 2000

**DESCRIPTION:** THIS APPLICATION IS FOR THE DEVELOPMENT OF  
AN 80,000 SQ.FT. OFFICE BUILDING WITH PARKING  
GARAGE ON A 4.2 +/- LEASE PARCEL. THE  
APPLICATION IS BEFORE THE BOARD FOR A  
PUBLIC HEARING AT THIS MEETING.

1. This property is located in the Airport-1 (AP-1) Zoning District of the Town. I had previously requested corrections to the bulk table on sheet SP-1. These have been made, although I have not yet received the final bulk tables, such that the 90' height can be verified.

So as to eliminate any future confusion, the table on sheet EX-1 should be eliminated.

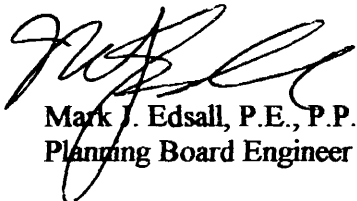
2. The parking information table on sheet SP-1 has been corrected. Regarding parking depicted on the plans, I have the following comments:
  - a. The plans submitted deal only with the upper parking level, and it would appear that 204 spaces are provided on that level. No information is provided regarding layout of the lower level, to verify that the total 400 spaces are provided.
  - b. The plans do not address the location and layout of any handicapped parking spaces. These must be included per code. (details are provided, but no spaces are indicated).
  - c. Access was to be provided at the lower level to fire equipment. Height of the deck was an issue. Has this been resolved?



3. Regarding the site plan and grading/utility plan, I have performed a follow-up review. In general, I believe I understand the intent with the grading. It would appear that some additional work is needed on the grading depicted on the plan. The other issues regarding utilities have been addressed.
4. A separate sewer relocation plan has been submitted. I have the following comments:
  - a. The scale appears wrong on the plan. I believe the scale is 1"=30'.
  - b. It must be determined if a submittal is required to the NYSDEC.
  - c. The relocation configuration and elevations appear acceptable.
5. I have performed a follow-up review of the detail sheets (DN-1 and DN-2) and the requested corrections have been made.
6. Regarding the SEQRA review, the applicant has submitted a Full EAF with project narrative. I believe the Planning Board is the only involved agency, unless a submittal to the NYSDEC is required. A review of the EAF must be completed and, following same, a determination of significance can be considered.

From an impact standpoint, the only area, which I believe will require off-site improvements, is the drainage. I believe the 12" storm line running down World Trade Way (f/k/a D Street) will be inadequate. A replacement line should be required.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/st  
NW00-202-26Jul00.doc

FIRST COLUMBIA SITE PLAN (00-202) 1 HUDSON VALLEY AVENUE

MR. PETRO: Next on the agenda First Columbia site plan, 1 Hudson Valley.

Mr. Jim Sperry and Mr. Chris Bette appeared before the board for this proposal.

MR. SPERRY: Just again to make sure we have it located properly again as we come up World Trade Way, this would be on the left-hand side where there's some small housing or office units to be removed, known as Hudson Valley Avenue, this is that little intersection right now.

MR. CROTTY: It's basically where the chapel ends.

MR. SPERRY: No, the chapel is located here.

MR. BETTE: It's right directly behind the Burns and Row compound up the hill.

MR. CROTTY: This is the only one we're talking about right now, right?

MR. SPERRY: Yes.

MR. ARGENIO: William Larkin Drive.

MR. SPERRY: Exactly, just to move along, similar comments, we'll work with the engineer to address those, the only thing of real consequence clarification the application is for 80,000 square feet, not for 85 as I think the EAF noted 85.

MR. BETTE: Application noted 85.

MR. SPERRY: And the only thing was the utility comments that Mark brought up, the fact that there's a sanitary line right now that does run across the slope and we're going to, we're suggesting relocation of that underneath the parking deck and tying into the sanitary system as it exists right now and the question came up as to whether or not that would be acceptable through

the health department, whether the Town has set any precedent, we're going to look for some recommendation from you as to whether there has been a precedent set and investigate that and additionally, the results of the storm line, we do recognize it does run underneath this thing, the question is is it operational, the answer is yes, it is and we're going to have to do a little bit of engineering to relocate that and what we're going to do we're going to relocate it to the front of the building as everything does discharge down World Trade Way, we'd simply intercept it and simply continue in that manner right now. Other than that, for the application we have adjusted the entrance drive which is up here, we have a modification to the plan, we have adjusted the entrance drive location from the plan you saw down just a bit and just to allow us to adjust the grades and reduce the slope going down into the lower portion of the site into the parking deck and we're going to have to bring some retaining walls to go down through William Larkin Drive and the landscape plan which is in your package we have done a street tree planting, continued what was shown on the conceptual plan, a big enhancement in the front and the treatment around the edges of the building. In the interest of time, I won't go into the detail. The comment it appeared to be adequate, the other comment on here relative to some of the detailed site design details which we'll bring up to current Town standards. I open it up for questions.

MR. PETRO: Where are you relocating the sewer main, where is it now?

MR. SPERRY: This is Tim O'Brien, project engineer, he worked on the sewer main.

MR. LUCAS: Town of New Windsor sewer system?

MR. SPERRY: Yes, it is, you own it.

MR. O'BRIEN: The sewer line runs along the existing building what we're proposing to do is reroute it.

MR. PETRO: You're not building over it though.

MR. O'BRIEN: What we're planning to do is currently the line runs under the building and over the existing manhole, what we're going to do is eliminate this front here and put a manhole under the parking structure, that's where we need some clarification, if they're going to allow that then what we're going to do is proceed out and connect to the same manhole.

MR. PETRO: Manhole under the structure, you still have access to the lower parking just that you have a roof over top.

MR. O'BRIEN: Yes, this is an open deck, so there's air flow so there shouldn't be much of a concern, but there should be a clarification from the Town that they'd accept it.

MR. EDSALL: The difficulty, it's relative to work with an excavator or small backhoe, if you have a concrete roof over you, I'd look at the grades, make sure there's no possible way of taking it along the other side of the building where it's open for excavation because once it's in there and you build a parking deck over it, it's going to be real difficult to deal with if there's a problem. And the same with your own water main, I think you should look at trying to feed off of either World Trade Way or Bill Larkin Drive because you're dropping grades and going underneath the building with your water service.

MR. SPERRY: Water service we're looking at that, I think we can probably come up with an alternative.

MR. EDSALL: I didn't have time to look at the grades.

MR. O'BRIEN: We're way down below the slope and angle that we're trying to connect to is up above, this manhole is pretty deep, however, the grades back here and the building back here similar to the Parcel E, only other option is to run between the two buildings or between the parking deck and the building but it would go under the vestibule, we'd prefer not to do that.

MR. SPERRY: Plus doing that, we have some landscape

that we wanted to do and once you bring landscaping, it's tough to accommodate that there.

MR. EDSALL: I see a problem with the Town sewer being under a building to be real honest with you, I don't know how we would maintain it, if we had a problem and if it was a private sewer, I'd say you're rolling your own dice but if it's a Town sewer, I don't think the Town's going to let you.

MR. PETRO: Just the manhole area or the entire line?

MR. EDSALL: The line, think about it, we don't allow people to put sheds on sewer easements, and we're putting a whole parking structure on it. So that's why it raised a big red flag for me, so, I mean, it would be an extreme difference from what we've told everybody else for the last 25 years.

MR. SPERRY: We have to remember that it is what you say on-grade parking surface, which is, and your concern which we understand now you've got this roof structure that's going to be something 10 to 12 feet above it and does that create an impairment.

MR. EDSALL: I'd be concerned whether or not if you took a small backhoe, if you'd have room to operate the boom underneath the roof deck and secondly, when you begin excavating, are you going to be undermining the structure?

MR. ARGENIO: Obviously, there's ways to maintain and repair a sewer main, exotic ways to do it, lining and other such things, but the onus of that should not be on us.

MR. EDSALL: That's why I'm saying it's a private--

MR. ARGENIO: Private line and the owner wants to take that on in 20 years, it's his business. But we shouldn't have that forced on us.

MR. EDSALL: I think I'd like you to just look at what options may exist, if it really doesn't exist, then I guess we're going to have to come up with a creative

solution.

MR. PETRO: There's a 20 or 30 foot space between the buildings.

MR. O'BRIEN: There's a vestibule going out to the parking deck above so we're running under the actual structure of the building, that's the concern.

MR. ARGENIO: That's very tight.

MR. O'BRIEN: Sewer line should be ten feet from a building structure and you're running into footings of actual parking deck also.

MR. PETRO: Just doesn't work.

MR. EDSALL: The other option as an alternative is to open up the spacing between the parking garage on the building to 20 feet, which is a conventional easement and at worst, we put a casing underneath the vestibule area, now you've got access for the whole length, other than the short distance, I don't know what the depths are, I don't know what direction the flows are going, just giving you some ideas.

MR. SPERRY: Why don't we go back and take a look at options, see if there are any others out of here and look at what it means to slide the building.

MR. EDSALL: It's only five feet from what I'm hearing.

MR. SPERRY: We can certainly go back and look at that because as I understand it, and storm drain was the only real substantial elements in here relative to the mechanics.

MR. O'BRIEN: The storm line does run similar to the sanitary line down through here, what we're going to try to do is connect down below, we'll find a manhole down here as the buildings progress down this line.

MR. EDSALL: What I was lacking and we don't have it as a document available to our office, it may be in the Town Hall somewhere are the as-builts of all of these

utilities. So when your plan shows catch basins or manholes, don't show the pipe, direction of flow, I'm clueless, I really don't know what you're dealing with.

MR. BETTE: We're struggling to find them as well.

MR. O'BRIEN: We're under the same--

MR. EDSALL: Okay.

MR. SPERRY: There's a great deal of information we have found inconsistencies.

MR. O'BRIEN: There's manholes shown on those as-builts that we cannot find that are supposed to be right in the pavement, they are not there.

MR. PETRO: Gentlemen, I'll entertain a motion to take lead agency for the Hudson Valley Avenue Stewart Airport.

MR. AREGNIO: So moved.

MR. LUCAS: Second it.

MR. PETRO: Motion's been made and seconded, any further discussion from the board members?

ROLL CALL

MR. LUCAS	AYE
MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. PETRO	AYE

MR. PETRO: I'd like to schedule a public hearing. Motion to do so.

MR. LUCAS: Make it.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board schedule a public hearing for the First Columbia Siate Plan, 1 Hudson Valley

Avenue. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. LUCAS	AYE
MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. PETRO	AYE

MR. PETRO: Any comments at this time for the gentlemen?

MR. CROTTY: There are some existing nice trees there, right?

MR. SPERRY: Yes, in fact, there's two trees that are existing right along here that will remain, this is predominantly brush and we're going to leave it on the corner.

MR. CROTTY: Specimen trees to the extent they can.

MR. SPERRY: Absolutely, there's some nice trees along the road, we want to continue the trees throughout the project.

MR. PETRO: They have a landscaping plan that Mark reviewed. Should mention next time about the lighting in the garage, Mark makes comment of that and obviously, it's going to be lit, maybe some types, what type of wall packs or whatever you use.

MR. SPERRY: We can do that. Mark, anything else?

MR. EDSALL: No, I just wanted to offer to these gentlemen that there are a number of comments that we really need to coordinate since we're trying to resolve some initial issues separate from the workshop, if you want to get together to go over some of my comments.

MR. SPERRY: I'd like to.

MR. EDSALL: Give me a call.



MR. PETRO: If you contact Mark and then maybe contact Phil on a couple of them, it can cut that list in half and get back to some planning board.

MR. SPERRY: Exactly.

MR. PETRO: Motion to adjourn.

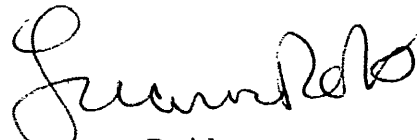
MR. LUCAS: So moved.

MR. ARGENIO: Second it.

ROLL CALL

MR. LUCAS	AYE
MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. PETRO	AYE

Respectfully Submitted By:



Frances Roth  
Stenographer



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**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**PROJECT NAME:** FIRST COLUMBIA SITE PLAN  
(1 HUDSON VALLEY AVENUE)  
(A/K/A NEW YORK INTERNATIONAL PLAZA)

**PROJECT LOCATION:** STEWART INTERNATIONAL AIRPORT  
INTERNATIONAL BLVD, WORLD TRADE WAY  
SECTION 3 - BLOCK 1 - LOT 50 (PORTION OF)

**PROJECT NUMBER:** 00-202

**DATE:** 28 JUNE 2000


**DESCRIPTION:** THIS APPLICATION IS FOR THE DEVELOPMENT OF  
AN 80,000 SQ.FT. OFFICE BUILDING WITH PARKING  
GARAGE ON A 4.2 +/- LEASE PARCEL. THE PLAN  
WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. This property is located in the newly created Airport-1 (AP-1) Zoning District of the Town. Although I have not received the "official" copy of the code update, I have compared the bulk table on drawing SP-1 with my copies of the AP-1 table and the "required" values for each use classification appears correct. The following additions should be made to the table:
  - a. The "Minimum Lot Depth" should be eliminated, as this is not in the New Windsor code.
  - b. "Street Frontage" should be added to the table. This use has an "N/A" value.
  - c. The table should note the use classification as 'A4'. Also it should reference office use, not hotel, restaurant and school.
  - d. The table indicates a permitted building height of 90 ft. For this use, the maximum height is 75'. An actual value should be indicated on the plan for the building height.
2. The plans include a parking information table. It is my understanding that the calculations will be based on the code text revision for Section 48-16 (B) which has been adopted (I also didn't get the "official" copy yet). The calculations on the plan must be corrected to utilize a 1 space per 150 sq.ft. requirement. Currently 1/200 has been used. (Also see next comment).

3. The plan notes a building size of 80,000 sq.ft. This is used for the parking calculation also. The EAF and application indicate 85,000 sq.ft. Which is correct?
4. Regarding the site plan and grading/utility plan, I have the following comments:
  - a. I reviewed the grading plan, in general. After the Board accepts the plan in concept, I will complete a detailed review of the grading, including the retaining walls.
  - b. The plan indicates a relocation of the Town sewer main. A separate plan must be prepared, with existing and proposed slopes and capacities noted. A determination is necessary whether the replacement main requires NYSDEC approval.
  - c. Regarding the sewer relocation, it would appear to run under the parking deck. Normally this would not be acceptable. Has the Town approved such a location?
  - d. The plan notes existing Storm Manholes in the new building area. What lines do these serve? (none are shown) Is an active system being interrupted? This must be resolved.
  - e. The location of the dumpster must be verified by the Fire Inspector as acceptable.
  - f. The water line is depicted running under the parking garage. Why isn't it run off the adjacent road thru the grass area, to the building?
  - g. Additional information should be provided regarding the existing utilities and the proposed connections to same.
5. I have reviewed the landscaping plan and same appears to provide a reasonable level of landscaping for the site. The Board may wish to review the plan and advise applicant of their opinion.
6. I have reviewed the lighting plan and same appears to provide a reasonable level of lighting at the site. The plan does not, however, deal with under parking deck lighting. I would assume that the building designer will deal with this. The fixture appears to be the preferred style of the Board and the unit is mounted at a reasonable height (25').
7. I have performed a preliminary review of the detail sheets (DN-1 and DN-2), and have the following comments:
  - a. The details appear to be copied from the other application before the board. The non-applicable details should be deleted.
  - b. Subbase for roadways should be NYSDOT Item #4.
  - c. The Main Access Drive can have 3" base rather than 4".
  - d. The concrete curb should be 6"x8"x20" utilizing 4000 psi concrete.

- e. The typical handicapped accessible space markings do not meet code. All striping and markings should be blue, not white. In addition, each space must have the required parking sign provided.
  - f. Catch Basin castings should be Campbell Pattern 2633. A maximum of two leveling or grade courses of brick or rings are permitted.
8. The applicant has submitted a Full EAF with project narrative. Our office is currently reviewing this information. The Planning Board should initiate the SEQRA review process, first discussing whether any other involved agencies exist for the application. If so, a lead agency coordination letter should be prepared.
9. The Planning Board should determine if a Public Hearing would be necessary for this Site Plan, per its discretionary judgment under Para. 48-19.C of the Town Zoning Law.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/st  
NW00-202-28Jun00.doc

FIRST COLUMBIA - OFFICE BUILDING SITE PLAN -TAX MAP  
#3-1-50

MR. PETRO: Now, the second one First Columbia office building site plan, you have something other than that?

MR. SPERRY: Can I clarify one thing so we understand the full detail for the application because normal application checklist is something we really can't follow.

MR. EDSALL: We can work out a list or a we'll work that out, but I think what you expressed is just what I was hoping, I think it's workable.

MR. PETRO: This is the one I was talking about that ended in the middle of nowhere.

MR. SPERRY: Again, the relationship between the two, this is actually the corner of Parcel E, this is the second one here. Proposal here is for 80,000 square foot, I think this is a three and a half story office building built in and there's a retaining wall access off of Hudson Valley Avenue an access, unique thing with this application is that it's going to be a parking deck that essentially is going to read from this elevation as on-grade parking access is on, has on-grade parking onto the deck and the second point of ingress egress would be alongside the deck and I will point out we're suggesting here that as a proposed lease line again, so we limit the number of curb cuts. This will be an exit point for future development over here, this will service lower level parking access and in addition, we can service as a service entrance to a level of the building we're not going to go down to the lower level, probably, perhaps the second level so we resolve a little bit of the grades and we have the service access to the structure itself. Utility services again out of the building to existing services that are located on World Trade Way and again street thing for the planting and we have our detailed, we'll come in with more detailed, this is a normal site plan application when you see it next time.

MR. LANDER: So there will be two parking levels?

MR. SPERRY: Yes.

MR. LANDER: This one here will enter on the third floor, the top level?

MR. BETTE: Correct.

MR. LANDER: Now, just going back to your first plan there just as you have this service entrance here, we might need behind that or right behind those buildings a service road because I know the parking lots are going to change, buildings will change but, you know, we should maybe have a service road behind those buildings or how else would you service, how would you get deliveries, how would you, you know, because of the topo on that, it would be very difficult to maneuver large vehicles through there.

MR. SPERRY: Just real quick, we're actually looking, for example, on the hotel that the service entrance will be something that would come off of this one, it's not going to have heavy use at all, again, we don't want, try and resolve the grading down here is really tough to do, it would have more sense to have a limited service entrance that comes in for the dumpster and then just for the ancillary service. So this hotel requires we get up onto this level, we're going to have to resolve the same thing, we're going to have to make some accommodations so we have a service area and try and screen it from the rest of the activity over here, the rest are pretty easy to do, typically, dedicate an area for a dumpster and pull up service Flight Training Center very easy to do with the lower section over here already exists for the office building.

MR. PETRO: How about the other one on the top?

MR. SPERRY: Right here, that's where we looked at going in with the secondary road and just, I have it where the dumpster and loading dock might be, would be serviced in that area, other than that, egress ingress is going to be within this area and then a lot with four other points of egress for the structure itself and substantial landscape to soften the elevation of

the deck itself. Again, we're looking at an on-grade view from Hudson Valley and then, of course, it would tie in the structure, so it would be viewing the structure from World Trade Way and storm water management would be handled in the same manner and it's going to be picked up and carried through the system which would be, which is evaluated right now through the existing detention areas and we have to make an evaluation as to what has to be done.

MR. LANDER: I like the idea of the interconnecting all these different buildings instead of having all the different curb cuts on the first one.

MR. SPERRY: Just makes an awful lot of sense. It's a nice opportunity that you have because when you come in on this level and here we have an understanding of what's going to happen along here and we do try to accommodate and try to limit the number of curb cuts and say with the utility services, make sure we brought them in in a manner that we can carry these on properly.

MR. PETRO: They are going to come in with a site plan, looks nice.

MR. SPERRY: I'm very interested in this one, in particular, if there's any concerns that the board might have conceptually because we want to go into our detailed engineering at this point.

MR. PETRO: Because of the parking deck.

MR. SPERRY: Parking deck is clearly an issue, we want to make sure everybody's comfortable with it.

MR. PETRO: Well, really, it's on the grade level of Hudson Valley Avenue, it's grade parking, so just don't see it's grade parking, so I don't certainly have a problem with it, just that it's elevated, what difference does it make?

MR. BABCOCK: There's no other way to get the parking.

MR. SPERRY: If you look at the sites, there are three

existing structures right now, so real easy to pinpoint, again, we have a longer one located in the corner, you can drive right through here right now and see it.

MR. PETRO: Some drainage off that deck that's what you call impervious area, 80,000 square foot building building and looks like 160,000 on the deck.

MR. PETRO: Good luck. We have seen enough, looks good, you're going to draw them up, we have a procedure, Mark's going to make you a checklist.

MR. EDSALL: Obviously, we have to deal with SEQRA and inasmuch as they are not a total concept plan for all of the parcels, we can't deal with SEQRA as a whole right now, we're going to have to deal with each application that you get. My suggestion is to deal with the SEQRA when you get the parcel plan that deals with the total buildout of that parcel, that way, if you can close SEQRA out, make your complete review at that point, it also gives the ability that when they are marketing or working toward an approval for a specific building on that parcel, SEQRA's out of the way as long as they build what they told you and nothing's changed of any significance.

MR. PETRO: What if footprints change?

MR. EDSALL: Footprint changing isn't a SEQRA issue, as long as the potential environmental impacts have been addressed and none of the changes that they make in the footprint affects your findings then SEQRA just stays as completed which helps out coordinating the environmental issue as well.

MR. PETRO: Sounds like you have a real good feel.

MR. EDSALL: We have been working on this to try to find a way that protects everybody.

MR. SPERRY: Takes out anything about segmentation, too.

MR. EDSALL: Exactly.



MR. PETRO: Off the record.

(Discussion was held off the record)

MR. PETRO: This basically would affect you if you want to listen to this, it's proposed underground utility service requirements and we have been going back and forth with the Town Attorney who's been instrumental in helping getting this off the ground, the airport, and with the First Columbia and Mark, you came up with this listing today, I see last page on your list.

MR. EDSALL: I don't know that we need to act on it tonight only because--

MR. PETRO: Just digest it.

MR. EDSALL: I wanted to raise several issues and again, it's all encompassing, doesn't just deal with commercial site plans and it doesn't just deal with Stewart, it's, we're looking at the whole Town here. I spoke with Phil Crotty and we discussed this and I just wanted to have this list available. You can think about it, maybe at the next meeting, we can reach some conclusions quickly. We have to decide when this board makes a recommendation to the Town Board, do you believe it's appropriate to deal with not only the non-residential sites but residential as well. Should it apply to all utilities which I believe that's your intent, power, telephone, cable, so on, do you want to deal with major and minor subdivisions or are you going to exempt minor subdivisions. We, speaking, Phil and I thought it was, we should write it in a form that's applicable to all roads, doesn't matter if it's an application off a state, county, town or private road, based on the criteria we think is appropriate, it shouldn't make any difference what kind of road it's on, tough to decide if I want it applicable to the service lines, to the houses or to the utilities and in just the road or both. And you also have to look at whether or not you want to have this law attempt to deal with maybe just not new utility installations but in cases where there's upgrades or utilities being put

in existing roads or are you intending maybe just new roads. So, again, these are the kind of issues that on a real preliminary basis, this probably just this afternoon quickly to get out those issues and then we have an issue of where to add it to the code, I'm sure Andy will help me out if that, if it just goes to zoning, that means it's only applicable to those areas where the Town has zoning jurisdiction.

MR. PETRO: What's First Columbia's standards on utilities, all underground?

MR. BETTE: Yes.

MR. PETRO: I can't imagine--

MR. BETTE: Part of our agreement with the Town is underground utilities.

MR. PETRO: All right, Mark, everybody, all the members, good job on that.

MR. EDSALL: I'll try to add things as I think of them over the next couple weeks.

MR. PETRO: All the members go over that in the meantime, I'll talk with Phil and maybe some other Town Board member and just kind of get their feeling for it, but this is certainly a good guideline, seems like you covered everything.

MR. EDSALL: Once you come up with maybe some suggestions and help me out as to what your recommendations are, I have agreed to prepare a draft text for review by the Town Board and the attorney.

MR. PETRO: The only reason anybody would be against this would be cost, you realize that.

MR. EDSALL: That has to be one of your considerations. I don't think anybody wants to make it so cost prohibitive to develop in the Town that it affects the ability for the Town to continue a controlled growth.

MR. PETRO: Okay, very good.

DISCUSSION

MR. PETRO: I have one thing, I see Jim Smith putting up a sign right out front, I don't know is there a permit for that? Do you know anything about it? Right in front of the car place pouring concrete, it's large, it's a big sign, just look into that.

MR. BABCOCK: Yes.

MR. PETRO: Motion to adjourn?

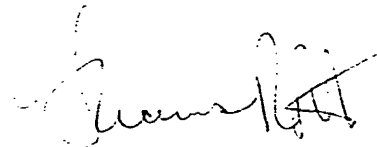
MR. LANDER: So moved.

MR. LUCAS: Second it.

ROLL CALL

MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

Respectfully Submitted By:



Frances Roth  
Stenographer

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/26/2000

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE

APPLICANT: FIRST COLUMBIA, L.L.C.

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	07/14/2000	MUNICIPAL HIGHWAY	07/26/2000	APPROVED
REV1	07/14/2000	MUNICIPAL WATER	07/26/2000	APPROVED
REV1	07/14/2000	MUNICIPAL SEWER	/ /	
REV1	07/14/2000	MUNICIPAL FIRE	07/25/2000	APPROVED
REV1	07/14/2000	NYS DOT	/ /	
ORIG	06/23/2000	MUNICIPAL HIGHWAY . FURTHER REVIEW TO FOLLOW	06/28/2000	CONCEPT APPR
ORIG	06/23/2000	MUNICIPAL WATER	07/03/2000	APPROVED
ORIG	06/23/2000	MUNICIPAL SEWER	07/14/2000	SUPERSEDED BY REV1
ORIG	06/23/2000	MUNICIPAL FIRE	06/28/2000	APPROVED
ORIG	06/23/2000	NYS DOT	07/14/2000	SUPERSEDED BY REV1

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/26/2000

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
O [Disap, Appr]

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE

APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
06/28/2000	P.B. APPEARANCE	LA: SCHED PH
06/21/2000	WORK SHOP APPEARANCE	SUBMIT
06/14/2000	P.B. APPEARANCE	PRESUBMISSION TALK
06/07/2000	WORK SHOP APPEARANCE	SET PRESUBMISSION

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/26/2000

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE

APPLICANT: FIRST COLUMBIA, L.L.C.

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	06/23/2000	EAF SUBMITTED	06/23/2000	WITH APPLIC
ORIG	06/23/2000	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	06/23/2000	LEAD AGENCY DECLARED	06/28/2000	TOOK LA
ORIG	06/23/2000	DECLARATION (POS/NEG)	/ /	
ORIG	06/23/2000	SCHEDULE PUBLIC HEARING	06/28/2000	SCHED PH
ORIG	06/23/2000	PUBLIC HEARING HELD	/ /	
ORIG	06/23/2000	WAIVE PUBLIC HEARING	/ /	
ORIG	06/23/2000	AGRICULTURAL NOTICES	/ /	

RESULTS OF P.P. MEETING OF: June 28, 2000

**PROJECT:** 1 Hudson Valley Ave. **P.B.#** 00-202

**LEAD AGENCY:**

**NEGATIVE DEC:**

1. AUTHORIZE COORD LETTER: Y\_\_\_ N\_\_\_

M)\_\_\_ S)\_\_\_ VOTE: A\_\_\_ N\_\_\_

2. TAKE LEAD AGENCY: Y ☒ N ☐

CARRIED: YES NO

M) B S) L U VOTE: A 4 N 0

CARRIED: YES ☒ NO ☐

WAIVE PUBLIC HEARING: M(L)S) A VOTE: A 4 N 0 WAIVED: Y    N ✓

SCHEDULE P.H. Y ☒ N ☐

SEND TO O.C. PLANNING: Y\_\_

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M)      S)      VOTE: A      N     

RETURN TO WORK SHOP: YES NO

APPROVAL:

M) S) VOTE: A N APPROVED: \_\_\_\_\_

MO    S    VOTE: A    N    APPROVED CONDITIONALLY:

NEED NEW PLANS: Y N

DISCUSSION/APPROVAL CONDITIONS:

Schedule P.H. Same night as 00-201

PLANNING BOARD : TOWN OF NEW WINDSOR  
COUNTY OF ORANGE : STATE OF NEW YORK

-----X  
In the Matter of Application for Site Plan/Subdivision of  
First Columbia - Stewart Airport

Applicant.

AFFIDAVIT OF  
SERVICE  
BY MAIL

-----X  
STATE OF NEW YORK)  
                          ) SS.:  
COUNTY OF ORANGE )

MYRA L. MASON, being duly sworn, deposes and says:

That I am not a party to the action, am over 18 years of age  
and reside at 350 Bethlehem Road, New Windsor, NY 12553.

On 7-14-00, I compared the 7 addressed  
envelopes containing the attached Notice of Public Hearing with  
the certified list provided by the Assessor regarding the above  
application for Site Plan/Subdivision and I find that the  
addressees are identical to the list received. I then mailed the  
envelopes in a U.S. Depository within the Town of New Windsor.

Myra L. Mason  
Myra L. Mason, Secretary for  
the Planning Board

Sworn to before me this

14<sup>th</sup> day of July, 2000

Deborah Green  
Notary Public

DEBORAH GREEN  
Notary Public, State of New York  
Qualified in Orange County  
# 4984065  
Commission Expires July 15, 2001  
AFFIMAIL.PLB - DISC#1 P.B.





# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (914) 563-4631  
Fax: (914) 563-4693

## Assessors Office

June 30, 2000

First Columbia  
Attn: Jim Sperry  
210 Washington Avenue Extension  
Albany, NY 12203

Re: 3-1-50

Dear Mr. Sperry,

According to our records, the list of property owners are abutting to the above referenced property.

The charge for this service is \$25.00.

Please remit the balance of \$25.00 to the Town Clerk's Office.

Sincerely,

Leslie Cook  
Sole Assessor

LC/lrd  
Attachments

CC: Myra Mason, PB

NYS Department of Transportation  
C/o Airport Director  
Stewart International Airport  
1035 First Street  
New Windsor, NY 12553

NYC Department of Water Supply  
465 Columbus Avenue-Suite 350  
Valhalla, NY 10595

George J. Meyers, Supervisor  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553

Dorothy H. Hansen, Town Clerk  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553

Andrew Krieger, ESQ.  
219 Quassaick Avenue  
New Windsor, NY 12553

James R. Petro, Chairman  
Planning Board  
555 Union Avenue  
New Windsor, NY 12553

Mark J. Edsall, P.E.  
McGoey and Hauser  
Consulting Engineers, P.C.  
45 Quassaick Avenue  
New Windsor, NY 12553

**LEGAL NOTICE**

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the  
TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a  
PUBLIC HEARING AT Town Hall, 555 Union Avenue, New Windsor, New York  
on July 26, 2000 at 7:30 P.M. on the approval of the  
date

proposed ☒ SITE PLAN / ☐ SUBDIVISION / ☐ SPECIAL PERMIT approval

for 1 - Hudson Valley Avenue located at \_\_\_\_\_

New York International Plaza Tax Map # 3-1-50  
name of project  
Address of project (Stewart Airport) section, block, lot

Map of the project is on file and may be inspected at the PLANNING BOARD  
OFFICE, Town Hall, 555 Union Avenue, New Windsor, NY prior to Public  
Hearing.

July 14, 2000

Date

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr., Chairman

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(914) 563-4611

**RECEIPT  
#485-2000**

06/27/2000

Columbia, Llc First

Received \$ 100.00 for Planning Board Fees, on 06/27/2000. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Dorothy H. Hansen  
Town Clerk

*P.B. # 00-202*

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/26/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 0-202

NAME: FIRST COLUMBIA - 1 HUDSON VALLEY AVENUE

APPLICANT: FIRST COLUMBIA, L.L.C.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
06/23/2000	REC. CK1466 - FIRST COLUM	PAID		750.00	
			-----	-----	-----
		TOTAL:	0.00	750.00	-750.00

*From First Columbia*

*P. Zappala*



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., ~~WATER~~ SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: **00-202**  
DATE PLAN RECEIVED: \_\_\_\_\_  
RECEIVED  
JUN 23 2000

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

W.Y. International Plaza has been  
reviewed by me and is approved ☒

~~disapproved~~ \_\_\_\_\_.

~~If disapproved, please list reason~~

Water is available in this area.

HIGHWAY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

John D. Divo - 7-3-00  
WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

SANITARY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

**INTER-OFFICE MEMORANDUM**

**TO: Town Planning Board**  
**FROM: Town Fire Inspector**  
**DATE: June 28, 2000**  
**SUBJECT: 1 Hudson Valley Avenue**

Planning Board Reference Number: PB-00-202  
Dated: 23 June 2000  
Fire Prevention Reference Number: FPS-00-024

A review of the above referenced site plan was conducted on 27 June 2000.

This site plan is acceptable.

Plans Dated: 23 June 2000.



Robert F. Rodgers  
Fire Inspector

RFR/dh



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, ~~HIGHWAY~~

RECEIVED

PLEASE RETURN COMPLETED FORM TO:

JUL 20 2000

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

N.W. HIGHWAY DEF

PLANNING BOARD FILE NUMBER:

**00-202**

RECEIVED

DATE PLAN RECEIVED: \_\_\_\_\_

JUL 14 2000

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by \_\_\_\_\_

\_\_\_\_\_ for the building or subdivision of \_\_\_\_\_

\_\_\_\_\_ has been

reviewed by me and is approved ☒ \_\_\_\_\_,

disapproved ☐ \_\_\_\_\_.

If disapproved, please list reason \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Henry Koll*  
HIGHWAY SUPERINTENDENT

*7/26/2000*  
DATE

\_\_\_\_\_  
WATER SUPERINTENDENT

\_\_\_\_\_  
DATE

\_\_\_\_\_  
SANITARY SUPERINTENDENT

\_\_\_\_\_  
DATE





# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

1763

TO: FIRE INSPECTOR, D.O.T., ~~WATER~~, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 00-202

DATE PLAN RECEIVED: \_\_\_\_\_ RECEIVED

JUL 14 2000

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

1 Hudson Valley Ave. Parcel 3-1-50 has been

reviewed by me and is approved ☒

~~disapproved~~ \_\_\_\_\_.

~~If disapproved, please list reason~~ \_\_\_\_\_

Water for prop. is readily available -

HIGHWAY SUPERINTENDENT \_\_\_\_\_ DATE

Stan Di Dio 7-26-00  
WATER SUPERINTENDENT \_\_\_\_\_ DATE

SANITARY SUPERINTENDENT \_\_\_\_\_ DATE

## **INTER-OFFICE CORRESPONDENCE**

**TO: Town Planning Board**

**FROM: Town Fire Inspector**

**DATE: July 25, 2000**

**SUBJECT: 1 Hudson Valley Avenue**

Planning Board Reference Number: PB-00-202

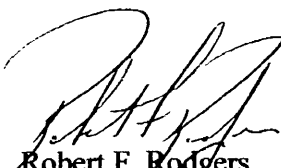
Dated: 14 July 2000

Fire Prevention Reference Number: FPS-00-029

A review of the above referenced subject site plan was conducted on 25 July 2000.

This site plan is acceptable.

Plans Dated: 13 July 2000 Revision 1



Robert F. Rodgers  
Fire Inspector

RFR/dh



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

- ☐ Main Office  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640
- ☐ Branch Office  
507 Broad Street  
Milford, Pennsylvania 18337  
(717) 296-2765

PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

00-202

TOWN/VILLAGE OF New Windsor

P/B # \_\_\_\_\_

WORK SESSION DATE: 21 June 2000

APPLICANT RESUB.  
REQUIRED: Full

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: 1 Hudson Valley (First Columbia)

PROJECT STATUS: NEW X OLD \_\_\_\_\_

REPRESENTATIVE PRESENT: \_\_\_\_\_

MUNIC REPS PRESENT: BLDG INSP. \_\_\_\_\_  
FIRE INSP. X \_\_\_\_\_  
ENGINEER X \_\_\_\_\_  
PLANNER \_\_\_\_\_  
P/B CHMN. \_\_\_\_\_  
OTHER (Specify) \_\_\_\_\_

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- 1 Hudson Valley Drive 3-1-50
- mult finalise utilities
- adding pedestrian sign
- finalise grading
- retaining wall detail
- Fire Engine clearance for lower parking deck
- add light pole detail
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

CLOSING STATUS

X Set for agenda

X possible agenda item

Discussion item for agenda

ZBA referral on agenda

pbwsform 10MJE98

RESULTS OF P.F. MEETING OF: *June 14, 2000*

PROJECT: 1 Hudson Valley Ave. P.B.# Presubmission

**LEAD AGENCY:**

NEGATIVE DEC: **00-202**

1. AUTHORIZE COORD LETTER: Y\_\_\_ N\_\_\_

M)\_\_\_ S)\_\_\_ VOTE: A\_\_\_ N\_\_\_

2. TAKE LEAD AGENCY: Y\_\_N\_\_

CARRIED: YES\_\_\_NO\_\_\_

M)\_\_\_S)\_\_\_ VOTE: A\_\_\_N\_\_\_

CARRIED: YES NO

WAIVE PUBLIC HEARING: M)    S)    VOTE: A    N    WAIVED: Y    N   

SCHEDULE P.H. Y    N   

SEND TO O.C. PLANNING: Y\_\_

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M)      S)      VOTE: A      N     

RETURN TO WORK SHOP: YES\_\_\_NO\_\_\_

APPROVAL:

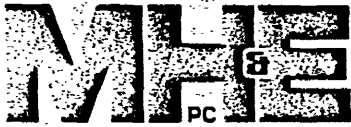
M) S) VOTE: A N APPROVED: \_\_\_\_\_

MO S) VOTE: A N APPROVED CONDITIONALLY:

NEED NEW PLANS: Y N

**DISCUSSION/APPROVAL CONDITIONS:**

Make application



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

- ☐ Main Office  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640
- ☐ Branch Office  
507 Broad Street  
Milford, Pennsylvania 18337  
(717) 296-2765

PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

TOWN/VILLAGE OF

New Windsor

P/B #

<sup>1-7</sup>  
**00-202**

WORK SESSION DATE:

7 June 2000

APPLICANT RESUB.

REQUIRED:

Full later

REAPPEARANCE AT W/S REQUESTED:

Yes

PROJECT NAME:

First Columbia

PROJECT STATUS:

NEW

X

OLD

REPRESENTATIVE PRESENT:

Jim Sperry, Tim O'Brien, Chris Attle

MUNIC REPS PRESENT: BLDG INSP.

FIRE INSP.

ENGINEER

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

3-1-50

80,000 sq office bldg.

w/ Parking deck & subgrade pk

- Q - if pk deck is below grade  
until setback, does it need  
variance.

Presub Conf. next week

CLOSING STATUS

Set for agenda

possible agenda item

Discussion item for agenda

ZBA referral on agenda

pbwsform 10MJ98



# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553  
Telephone: (914) 563-4615  
Fax: (914) 563-4693

## PLANNING BOARD APPLICATION

### TYPE OF APPLICATION (check appropriate item):

Subdivision 3 Lot Line Change 4 Site Plan 50 Special Permit \_\_\_\_\_

Tax Map Designation: Sec. 3 Block 1 Lot 50

1. Name of Project 1 Hudson Valley Avenue
2. Owner of Record Town of New Windsor Phone (914) 563-4693  
Address: 555 Union Avenue New Windsor New York 12553  
(Street Name & Number) (Post Office) (State) (Zip)
3. Name of Applicant First Columbia, L.L.C. Phone (518) 452-1664  
Address: 210 Washington Ave. Ext. Albany New York 12203  
(Street Name & Number) (Post Office) (State) (Zip)
4. Person Preparing Plan BL. Companies Phone (914) 485-7088  
Address: 80 Washington Street Suite 310 Poughkeepsie NY 12601  
(Street Name & Number) (Post Office) (State) (Zip)
5. Attorney N/A Phone N/A  
Address N/A  
(Street Name & Number) (Post Office) (State) (Zip)
6. Person to be notified to appear at Planning Board meeting:  
Christopher Bette (518) 452-1664  
(Name) (Phone)
7. Project Location:  
On the East side of Hudson Valley Avenue 600 feet  
(Direction) (Street) (No.)  
South of World Trade Way  
(Direction) (Street)
8. Project Data: Acreage 4.5 Zone AP-1 School Dist. \_\_\_\_\_

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes \_\_\_\_\_ No X

\*This information can be verified in the Assessor's Office.

\*If you answer "yes" to question 9, please complete the attached "Agricultural Data Statement".

10. Description of Project: (Use, Size, Number of Lots, etc.) Construction of a <sup>3 1/2</sup> story  
CSB 87,000 sf. professional office building with single level  
parking deck.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes \_\_\_\_\_ no X

12. Has a Special Permit previously been granted for this property? yes \_\_\_\_\_ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

5<sup>th</sup> DAY OF June 2000

Christopher J. Beite  
APPLICANT'S SIGNATURE

Margery A. Saddleire  
NOTARY PUBLIC

CHRISTOPHER J. BEITE  
Please Print Applicant's Name as Signed

MARGERY A. SADDLEIRE  
Notary Public, State of New York

\*\*\*\*\* NO. 01548037324 \*\*\*\*\*

TOWN OF ORANGE  
Qualified in Albany County  
Commission Expires February 22, 2002

RECEIVED

JUN 23 2000  
DATE APPLICATION RECEIVED

00-202  
APPLICATION NUMBER

State Environmental Quality Review  
**SHORT ENVIRONMENTAL ASSESSMENT FORM**  
For UNLISTED ACTIONS Only**PART I - PROJECT INFORMATION** (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR Name <i>First Columbia L.L.C.</i>	2. PROJECT NAME Project Name <i>1 Hudson Valley Ave.</i>
3. PROJECT LOCATION: Municipality <i>Town of New Windsor</i> County <i>Orange</i>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <i>1 Hudson Valley Ave.</i>	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <i>Construction of a 4 1/2 story, 85,000 s.f. professional office building. Four existing structures will be removed.</i>	
7. AMOUNT OF LAND AFFECTED: Initially: <u>4(+/-)</u> acres Ultimately <u>4(+/-)</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly.	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe: <i>Vacant administration buildings, vacant chapel building.</i>	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE, OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency name and permit/approval.	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency name and permit/approval.	
12. AS A RESULT OF THE PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Christopher J. Bette</u> Date: <u>June 6, 2000</u>	
Signature: <u><i>Christopher J. Bette</i></u>	

If the action is in the Coastal Area, and you are a State agency, complete the Coastal Assessment Form before proceeding with this assessment.



**PART II – ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superceded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:	
C2. Aesthetic, agricultural, archaeological, historic or other natural or cultural resources; or community or neighborhood character? Explain briefly:	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:	
C6. Long term, short term, cumulative, or other effects not identified in C1 – C5? Explain briefly:	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:	
D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA? <input type="checkbox"/> Yes <input type="checkbox"/> No	
E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input type="checkbox"/> No    If Yes, explain briefly:	

**PART III – DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination and significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from responsible officer)

\_\_\_\_\_  
Date

**TOWN OF NEW WINDSOR PLANNING BOARD**

**SITE PLAN CHECKLIST**

**ITEM**

1.       x       Site Plan Title
2.       x       Provide 4" wide X 2" high box (**IN THE LOWEST RIGHT CORNER OF THE PLAN**) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

**SAMPLE:**



3.       x       Applicant's Name(s)
4.       x       Applicant's Address
5.       x       Site Plan Preparer's Name
6.       x       Site Plan Preparer's Address
7.       x       Drawing Date
8.       x       Revision Dates
9.       x       Area Map Inset and Site Designation
10.       x       Properties within 500' of site
11.       x       Property Owners (Item #10)
12.       x       Plot Plan
13.       x       Scale (1" = 50' or lesser)
14.       x       Metes and Bounds
15.       x       Zoning Designation
16.       x       North Arrow
17.       x       Abutting Property Owners
18.       x       Existing Building Locations
19.       x       Existing Paved Areas
20.       x       Existing Vegetation
21.       x       Existing Access & Egress

## PROPOSED IMPROVEMENTS

22.   x   Landscaping
23.   x   Exterior Lighting
24.   x   Screening
25.   x   Access & Egress
26.   x   Parking Areas
27.   x   Loading Areas
28.   x   Paving Details (Items 25 - 27)
29.   x   Curbing Locations
30.   x   Curbing through section
31.   x   Catch Basin Locations
32.   x   Catch Basin Through Section
33. Conceptual Storm Drainage (To be coordinated w/ Stormwater Master Plan)
34.   x   Refuse Storage
35.   N/A   Other Outdoor Storage
36.   x   Water Supply
37.   x   Sanitary Disposal System
38.   x   Fire Hydrants
39.   x   Building Locations
40.   x   Building Setbacks
41.   x   Front Building Elevations
42.   N/A   Divisions of Occupancy
43.   N/A   Sign Details
44.   x   Bulk Table Inset
45.   x   Property Area (Nearest 100 sq. ft.)
46.   x   Building Coverage (sq. ft.)
47.   x   Building Coverage (% of total area)
48.   x   Pavement Coverage (sq. ft.)
49.   x   Pavement Coverage (% of total area)
50.   x   Open Space (sq. ft.)
51.   x   Open Space (% of total area)
52.   x   No. of parking spaces proposed
53.   x   No. of parking spaces required

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. N/A

Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.

55. X

A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leaser shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

***PREPARER'S ACKNOWLEDGMENT:***

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: Robert Mann, P.E. 6/21/00  
Licensed Professional Date

**APPLICANT/OWNER PROXY STATEMENT**  
**(for professional representation)**

for submittal to the:  
TOWN OF NEW WINDSOR PLANNING BOARD

GEORGE J. MEYERS, deposes and says that he resides  
(OWNER)

at 2 Brandon Court, New Windsor, N. Y. 12553 in the County of Orange  
(OWNER'S ADDRESS)

Supervisor of the TOWN OF NEW WINDSOR, the municipal corporation which is the  
and State of New York and that he is the owner of property ~~located~~  
formerly known as Stewart Army Subpost

(~~Sec~~ Block ~~Lot~~)  
designation number (~~Sec~~ Block ~~Lot~~) which is the premises described in  
the foregoing application and that he authorizes:

Christopher Bette  
(Applicant Name & Address, if different from owner)

First Columbia, 210 Washington Avenue Extension, Albany, N. Y. 12203  
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: December 1, 1999.

Patricia A. Banhart  
Witness' Signature

  
Owner's Signature Supervisor

TOWN OF NEW WINDSOR

By: George J. Meyers

Applicant's Signature if different than owner

  
Representative's Signature

**THIS FORM CANNOT BE WITNESSED BY THE PERSON OR  
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED  
TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.**

**00-202**

**APPLICANT/OWNER PROXY STATEMENT**  
**(for professional representation)**

for submittal to the:  
TOWN OF NEW WINDSOR PLANNING BOARD

Town of New Windsor deposes and says that he resides  
(OWNER)  
at 555 Union Avenue, New Windsor, NY 12553 in the County of Orange  
(OWNER'S ADDRESS)  
and State of New York and that he is the owner of property tax map  
(Sec. \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_)  
designation number (Sec. \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_) which is the premises described in  
the foregoing application and that he authorizes:

First Columbia LLC. 210 Washington Avenue Ext. Albany, NY 12203  
(Applicant Name & Address, if different from owner)

BL Companies, 80 Washington Street. Suite 310 Poughkeepsie, NY 12601  
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 4/1/00

[Signature]  
Witness' Signature

[Signature]  
Owner's Signature

[Signature]  
Applicant's Signature if different than owner

[Signature]  
Representative's Signature

**THIS FORM CANNOT BE WITNESSED BY THE PERSON OR  
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED  
TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.**

**00-2**





AREA MAP

SCALE: 1"=1,000'

# SITE PLAN SUBMITTAL DOCUMENTS

## 1 HUDSON VALLEY AVENUE TAX PARCEL I.D. 3-1-50

### NEW YORK INTERNATIONAL PLAZA TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK

APPLICANT:



210 WASHINGTON AVE. EXT.  
ALBANY, NEW YORK 12203  
(518) 452-1664  
(518) 452-1679 Fax

PREPARED BY:



ARCHITECTURE ENGINEERING PLANNING LANDSCAPE ARCHITECTURE  
LAND SURVEYING ENVIRONMENTAL SCIENCES ANALYTICAL SERVICES

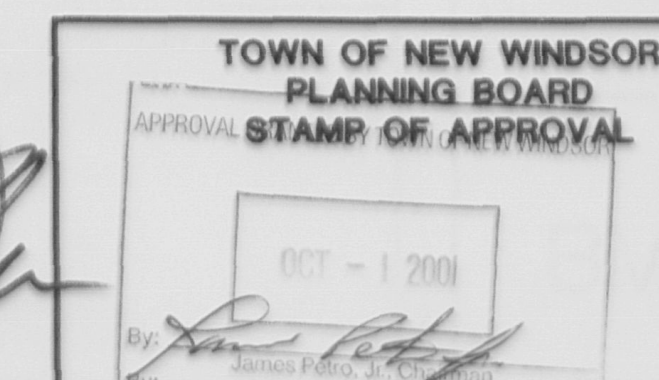
80 Washington Street, Suite 310  
Poughkeepsie, NY 12601  
(914) 485-7088  
(914) 485-7131 Fax

#### DATES

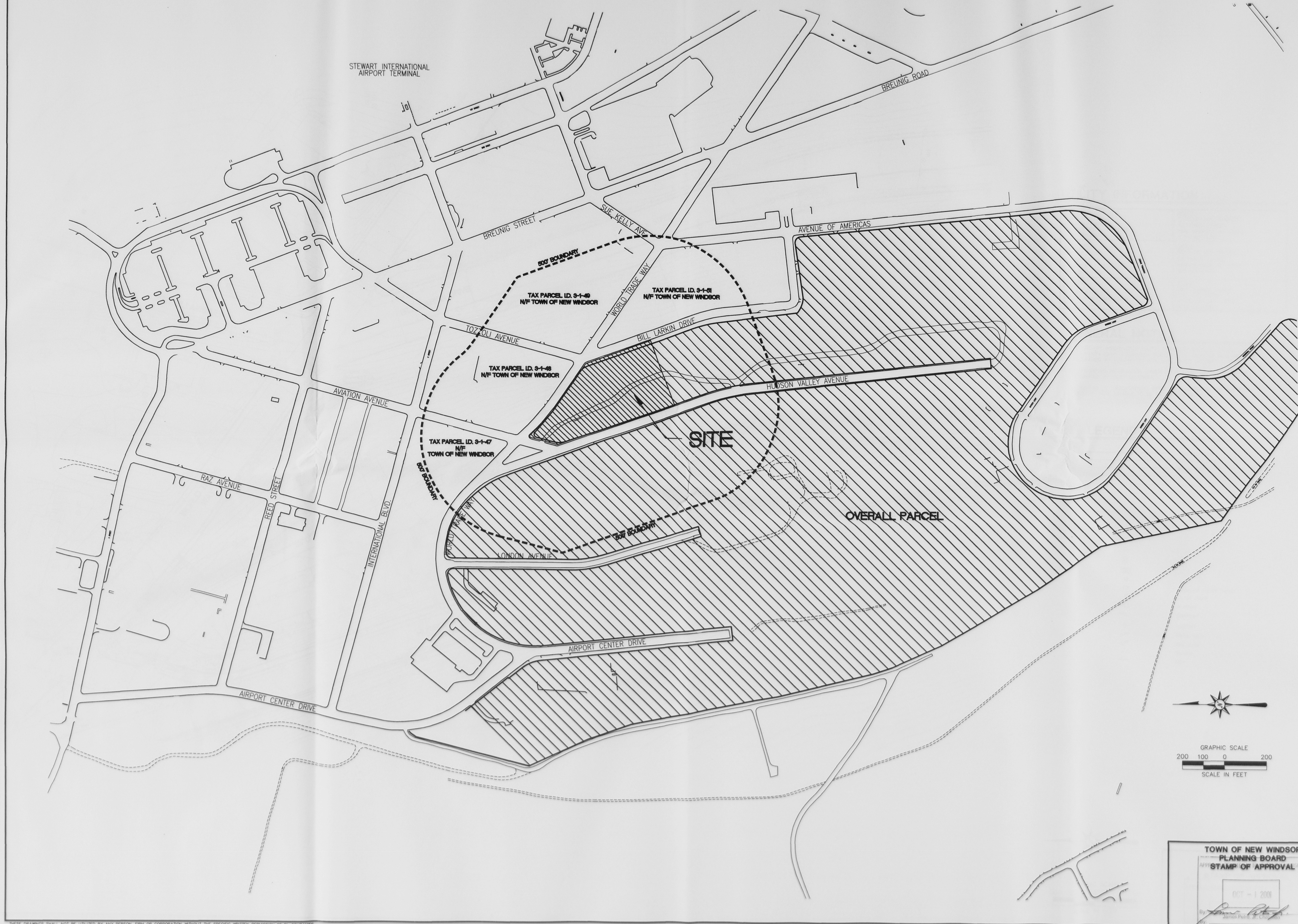
ISSUE DATE: JUNE 23, 2000  
REVISION DATE: JULY 13, 2000  
REVISION DATE: SEPT. 15, 2000  
REVISION DATE: FEB. 9, 2001

#### CONTENTS

	TITLE SHEET
BM-1	500' BOUNDARY MAP
EX-1	EXISTING CONDITIONS MAP
DM-1	DEMOLITION PLAN
SP-1	SITE PLAN
GU-1	GRADING, UTILITIES AND EROSION CONTROL PLAN
SR-1	SANITARY RELOCATION PLAN
LL-1	LANDSCAPING PLAN
LP-1	LIGHTING PLAN
DN-1, 2	DETAIL SHEETS







**500' BOUNDARY MAP**  
**1 HUDSON VALLEY AVENUE**  
**NEW YORK INTERNATIONAL PLAZA**  
**TOWN OF NEW WINDSOR**  
**ORANGE COUNTY, NEW YORK**

REVISIONS	DATE	DESC.	REVISION	COMMENTS
No. 1	07/13/00			
Designed		T.J.O.		
Drawn		T.J.O.		
Checked		R.E.M.		
Approved		R.A.L.		
Scale		1"=200'		
Project No.		00N280		
Date		6/23/00		
CAD File		BMN28001		

Sheet No.

**BM-1**

**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**STAMP OF APPROVAL**

OCT - 1 2000

By: [Signature]  
[Signature]  
[Signature]





# UTILITY INFORMATION

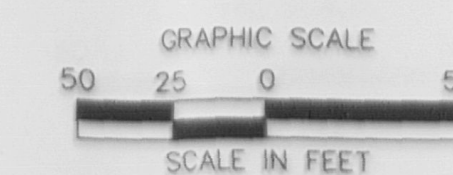
<b>GAS:</b> CHG&E 284 SOUTH AVE. P.O. BOX 1100 ALBANY NY 12250 914-452-2000	<b>WATER:</b> TOWN OF NEW WINDSOR 55 UNION AVENUE NEW WINDSOR, NY 12553 914-563-4611
<b>TELEPHONE:</b> BELL ATLANTIC P.O. BOX 1100 ALBANY NY 12250 914-890-0200	<b>SEWER:</b> TOWN OF NEW WINDSOR 55 UNION AVENUE NEW WINDSOR, NY 12553 914-563-4611
<b>ELECTRIC:</b> CHG&E 284 SOUTH AVE. P.O. BOX 1100 ALBANY NY 12250 914-452-2000	<b>CABLE:</b> TIME WARNER CABLE P.O. BOX 10094 NEWBURGH, NY 12550 800-431-8878

# GENERAL NOTES

- BOUNDARY INFORMATION TAKEN FROM MAP ENTITLED "REAL PROPERTY LAND ACQUISITION SURVEYS FOR TOWN OF NEW WINDSOR", PREPARED BY EDWARD ZAVACK, LLS, DATED OCTOBER 1, 1999.
- TOPOGRAPHIC INFORMATION TAKEN FROM ARIAL TOPOGRAPHIC MAP PROVIDED BY FIRST COLUMBIA.
- LOCATION OF UNDERGROUND PIPES, PIPE CONSTRUCTION AND PIPE INVERTS WERE UNABLE TO BE FIELD VERIFIED.

# LEGEND

---	Property Line
---	Easement Line
W	Water Line
G	Gas Line
T	Telephone Line
E	Electric Line
---	Overhead Wires
X	Chain Link Fence
○	Utility Pole
○	Utility Pole W/ Light
○	Light Pole
○	Steel Span Pole
○	Controller
○	Hand Hole
○	Pedestal Traffic Signal
○	Catch Basin
○	Manhole
○	Cleanout
○	Hydrant
○	Water Gate
○	Gas Gate
○	Ballard
○	Sign

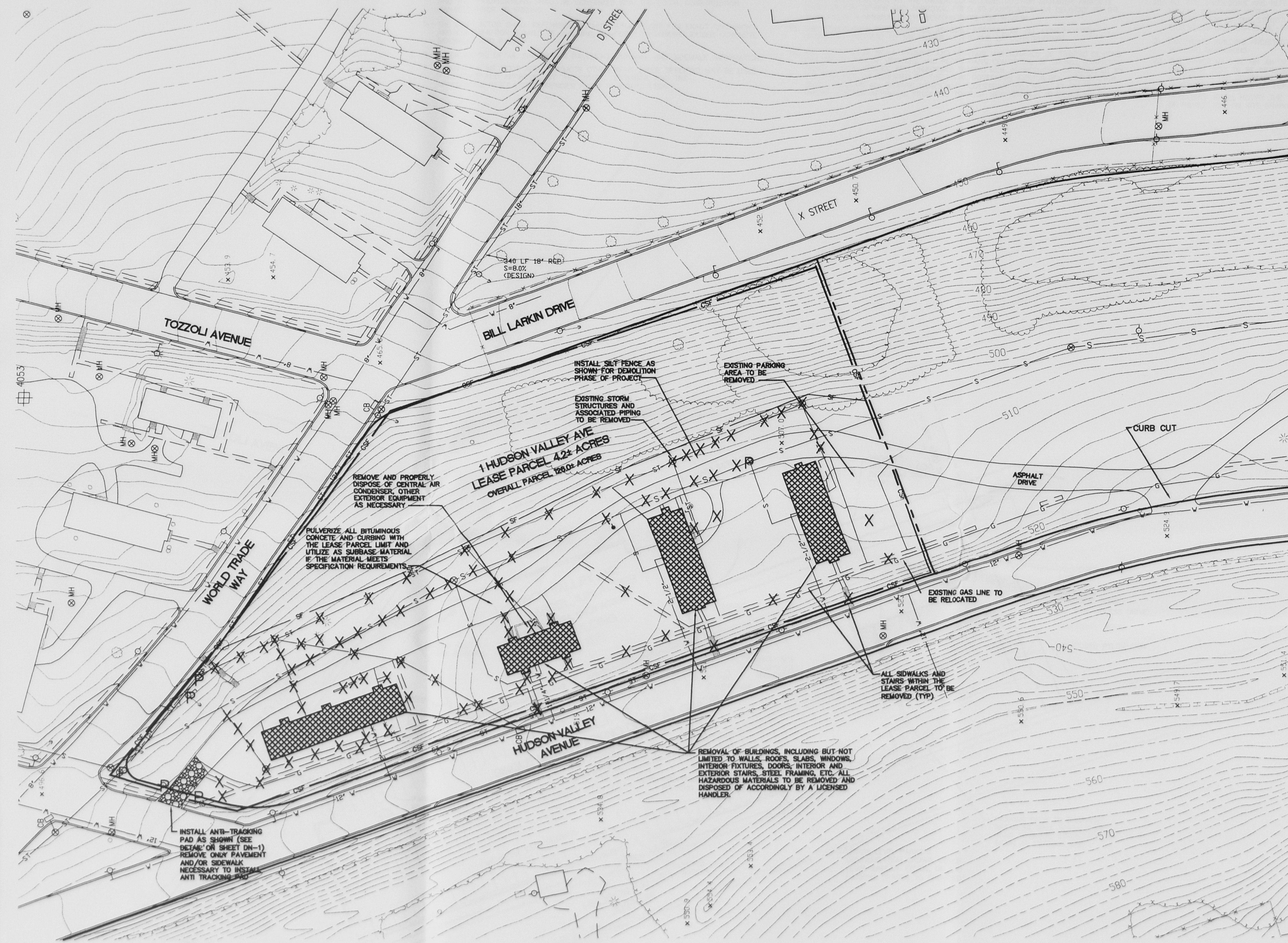


TOWN OF NEW WINDSOR  
PLANNING BOARD  
STAMP OF APPROVAL

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

OCT - 1 2001





UTILITY INFORMATION

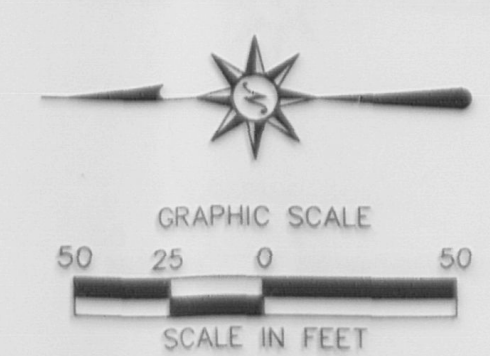
<b>GAS:</b> CHG&E 284 SOUTH AVE. POUGHKEEPSIE, NY 12601 914-452-2000	<b>WATER:</b> TOWN OF NEW WINDSOR 55 UNION AVENUE NEW WINDSOR, NY 12553 914-563-4611
<b>TELEPHONE:</b> BELL ATLANTIC P.O. BOX 1100 ALBANY NY 12250 914- 890-0200	<b>SEWER:</b> TOWN OF NEW WINDSOR 55 UNION AVENUE NEW WINDSOR, NY 12553 914-563-4611
<b>ELECTRIC:</b> CHG&E 284 SOUTH AVE. POUGHKEEPSIE, NY 12601 914-452-2000	<b>CABLE:</b> TIME WARNER CABLE P.O. BOX 10094 NEWBURGH, NY 12550 800-431-8878

GENERAL NOTES

1. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS FROM ALL APPLICABLE AGENCIES FOR DEMOLITION AND DISPOSAL OF DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS.
2. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL "CALL BEFORE YOU DIG" AT 1-800-962-7962, 72 HOURS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR, PRIOR TO START OF WORK, SHALL INSTALL AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMMENCEMENT OF SITE DEVELOPMENT CONSTRUCTION, OR AS DEEMED NECESSARY BY THE ENGINEER. THE CONTRACTOR SHALL ONLY REMOVE PAVEMENT AND/OR SIDEWALK NECESSARY TO INSTALL THE SILT FENCING AND ROCK CONSTRUCTION ENTRANCE AS SHOWN. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS AS PER THE EROSION AND SEDIMENTATION CONTROL PLAN, AT THAT TIME.
4. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO THE REMOVAL OF REMOVAL OF DEMOLITION MATERIAL FROM THE PROJECT SITE.
5. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS INDICATED ON THIS PLAN ARE TO BE REMOVED FROM THE PROJECT SITE. CONTRACTOR SHALL SECURE ALL PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
6. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
7. BACKFILL ALL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
8. ANY ASBESTOS OR HAZARDOUS MATERIAL FOUND ON SITE SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
9. EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE DEMOLITION PLAN SHALL BE IN PLACE PRIOR TO START OF DEMOLITION OR CLEARING AND GRUBBING OPERATIONS.
10. UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATELY LOCATED FROM FIELD SURVEYS OR UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO START OF DEMOLITION.
11. THE CONTRACTOR SHALL SUBMIT DISCONNECT NOTIFICATION TO THE TOWN OF NEW WINDSOR WATER AND SEWER AUTHORITY, AND ALL ASSOCIATED UTILITY COMPANIES PERTAINING TO THIS SITE AT LEAST THREE (3) WEEKS PRIOR TO BEGINNING DEMOLITION.
12. EXISTING WATER SERVICES SHALL BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF NEW WINDSOR PUBLIC WORKS DEPARTMENT. REMOVE EXISTING WATER PIPING UP TO THE CURB STOP. COORDINATE WITH THE TOWN OF NEW WINDSOR PUBLIC WORKS DEPARTMENT PRIOR TO START OF ANY UTILITY REMOVAL OR DISCONNECTION.
13. EXISTING SANITARY SEWER LATERAL(S) SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURBLINE IN ACCORDANCE WITH THE TOWN OF NEW WINDSOR PUBLIC WORKS DEPARTMENT. REMOVE ALL ON-SITE EXISTING SEWER SERVICE LATERAL(S).
14. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. ALL SERVICE DISCONNECTIONS AND REMOVAL METHODS SHALL BE COORDINATED WITH ALL APPLICABLE UTILITY COMPANIES PRIOR TO START OF WORK.
15. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS THAT WILL NOT BE REMOVED. ANY SITE MONUMENTATION AND/OR PROPERTY MARKERS, IF DETERMINED BY THE ENGINEER TO BE DISTURBED SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
16. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS.
17. THE CONTRACTOR SHALL PUMP OUT AND REMOVE ALL FUEL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH NEW YORK D.E.C. REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF SOIL SURROUNDING FUEL TANKS FOR ANY CONTAMINATION.
18. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO NIAGARA MOHAWK ELECTRIC LINE(S), CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
19. THE EXISTING PAVEMENT MAY BE USED IN FILL AREAS, EXCEPT UNDER THE PROPOSED BUILDING, IF SCARIFIED TO 3" AND SMALLER AND AS APPROVED BY THE ENGINEER.

DEMOLITION LEGEND

- SF SILT FENCE
- CSF CONSTRUCTION SAFETY FENCE AND CONSTRUCTION LIMITS
- ANTI-TRACKING PAD (ROCK CONSTRUCTION ENTRANCE)
- PROPOSED DEMOLITION AREA
- P PROTECT EXISTING FEATURE
- X REMOVE EXISTING FEATURE



TOWN OF NEW WINDSOR  
PLANNING BOARD  
STAMP OF APPROVAL

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

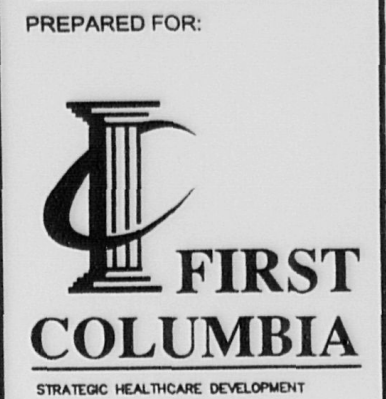
OCT - 1 2001

James Petro, Jr., Chairman

James Brennan, Secretary



80 Washington Street, Suite 310  
Poughkeepsie, NY 12601  
(914) 485-7088  
(914) 485-7131 Fax



DEMOLITION PLAN  
1 HUDSON VALLEY AVENUE  
NEW YORK INTERNATIONAL PLAZA  
ORANGE COUNTY, NEW YORK  
TOWN OF NEW WINDSOR

REVISIONS	Desc.	REVISE PER COMMENTS
No.	Date	
1	07/13/00	
Designed	T.J.O.	
Drawn	T.J.O.	
Checked	R.E.M.	
Approved	R.A.L.	
Scale	1"=50'	
Project No.	00N280	
Date	6/23/00	
CAD File	DMN28001	
Sheet No.		

DM-1



GENERAL NOTES

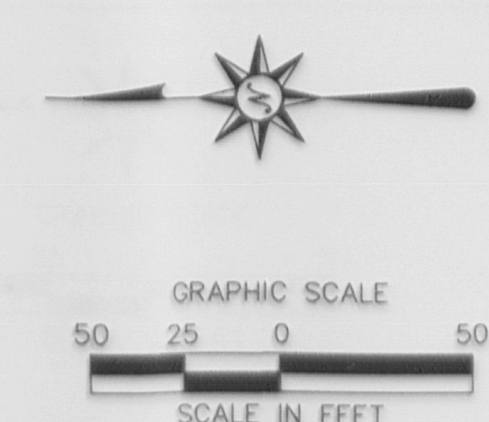
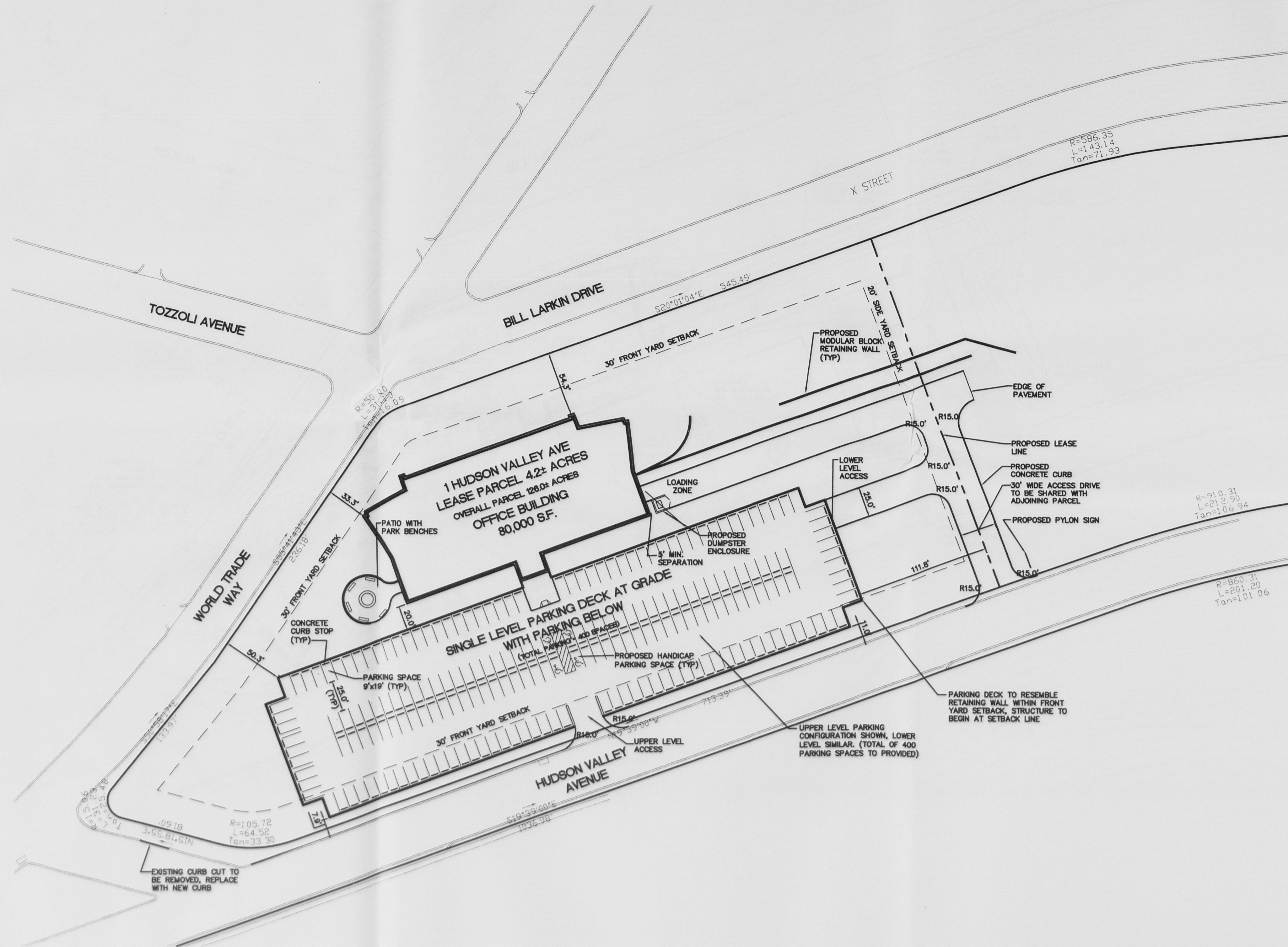
1. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF NEW WINDSOR ZONING AND SUBDIVISION ORDINANCES.
2. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEW WINDSOR REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. PRIOR TO START OF CONSTRUCTION, INFORM ALL AREA UTILITY COMPANIES OF PLANNED CONSTRUCTION.
4. REFER TO OTHER PLANS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, DUMPSTER ENCLOSURE, RAISED CONCRETE SIDEWALKS AND RAMPS.
6. REFER TO THE DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
7. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND THE APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN OF NEW WINDSOR.
9. TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH NYS DOT STANDARDS.
10. PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH NYS DOT SPECIFICATIONS.
11. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE TO THE LOCAL CONSTRUCTION MANAGER PRIOR TO STRIPING.
12. TWELVE (12) INCH SWSB (STOP BAR) AND 4" SDYL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS TO BE EPOXY RESIN TYPE ACCORDING TO NYS DOT SPECIFICATIONS.
13. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER, LOCAL CONSTRUCTION MANAGER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
14. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
15. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN MAINTENANCE OF TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE TOWN OF NEW WINDSOR IS GRANTED.
16. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND RESPECTIVE UTILITY COMPANY IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
17. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE TOWN OF NEW WINDSOR. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
18. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
19. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
20. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE. MINIMUM CURB RADIUS IS 2' ALL KNOWN EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THIS PLAN.
21. REFERENCE BUILDING ARCHITECTURAL PLANS PREPARED BY OTHERS FOR EXACT BUILDING DIMENSIONS.
22. THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TEST TO BE DETERMINED BY THE OWNER AND SITE ENGINEER, IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR COST INCURRED DUE TO SCHEDULING PROBLEMS OR FOR REPEATED TESTING.
23. DEVELOPER SHALL NOTIFY THE TOWN OF NEW WINDSOR PRIOR TO COMMENCEMENT OF PAVING AND ON SITE DRAINAGE WORK.
24. ALL ENGINEERING WORK TO BE PERFORMED TO LATEST PLANNING BOARD SPECIFICATIONS AND REQUIREMENTS.
25. ALL UTILITIES SHALL BE UNDERGROUND, AS PER PLANNING BOARD SPECIFICATIONS.
26. EXISTING CURBS, SIDEWALKS AND DRIVEWAY APRONS ARE TO BE REMOVED AND REPLACED FROM EXPANSION JOINT TO EXPANSION JOINT TO ITS FULL DEPTH FOR INSTALLATION AND/OR REMOVAL OF CURB CUTS AND FOR THE REPLACEMENT OF DAMAGES WHETHER INCURRED PRIOR TO OR DURING CONSTRUCTION.

ZONING INFORMATION

LOCATION: TOWN OF NEW WINDSOR				
ZONE: AIRPORT-A (AP-1)				
USE: (PERMITTED USE) OFFICE BUILDING				
ITEM #	ITEM	REQUIREMENTS OFFICE BUILDING (A4)	PROPOSED	VARIANCE
1	MINIMUM LOT AREA (SF)	40,000	LEASE PARCEL 182952 S.F.	N/A
2	MINIMUM LOT WIDTH (FT)	100	600 FT	N/A
3	MINIMUM FRONT SETBACK (FT)	30	30 FT	N/A
4	MINIMUM SIDE SETBACK (FT)	20/40	N/A	N/A
5	MINIMUM REAR SETBACK (FT)	15	N/A	N/A
6	MINIMUM STREET FRONTAGE	N/A	N/A	N/A
7	MAXIMUM BUILDING HEIGHT (FT)	90'	NOT TO EXCEED MAXIMUM ALLOWED	N/A
8	MAXIMUM LOT COVERAGE	85 PERCENT	LESS THAN 85 PERCENT	N/A

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	PARKING REQUIRED BY TOWN	OFFICE 1 SPACE PER 200 SF OF TOTAL FLOOR AREA 80,000 / 200 = 400 SPACES	400 SPACES	N/A
2	MINIMUM PARKING DIMENSIONS	9x19	9x19	N/A
3	MINIMUM AISLE WIDTH	25'	25'	N/A
4	MINIMUM FRONT SETBACK	N/A	N/A	N/A
5	MINIMUM SIDE SETBACK	N/A	N/A	N/A
6	MINIMUM REAR SETBACK	N/A	N/A	N/A



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PREPARED FOR:

**FIRST COLUMBIA**  
STRATEGIC HEALTHCARE DEVELOPMENT

**SITE PLAN**

1 HUDSON VALLEY AVENUE  
NEW YORK INTERNATIONAL PLAZA  
ORANGE COUNTY, NEW YORK  
TOWN OF NEW WINDSOR

REVISIONS

No.	Date	Desc.
1	07/13/00	REVISE PER COMMENTS
2	09/15/00	REVISE PER COMMENTS

Designed: T.J.O.  
Drawn: T.J.O.  
Checked: R.E.M.  
Approved: R.A.L.  
Scale: 1"=50'  
Project No.: 00N280  
Date: 6/23/00  
CAD File: SPN28001

Sheet No.

**SP-1**



1. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF NEW WINDSOR STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH ALL STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEW WINDSOR REQUIRED TO PERFORM ALL THE REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILING OF WATERCOURSES AND OFFSITE AREAS IN ACCORDANCE WITH THE REGULATIONS OF THE TOWN OF NEW WINDSOR AND THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL.

## UTILITY CONSTRUCTION NOTES

1. UTILITY CONNECTION DESIGN AS REFLECTED ON THIS PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
2. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANY SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANIES (AND TOWN) STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
3. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL. IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR TOWN OF NEW WINDSOR REQUIREMENTS.
4. ALL DISTURBANCE INCURRED TO TOWN AND/OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF NEW WINDSOR AND/OR THE STATE OF NEW YORK REPRESENTATIVE.
5. THIS PLAN DETAILS PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS, SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
6. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR AND/OR RESPONSIBLE PARTY IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG" AT 1-800-962-7962 AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
7. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
8. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER.

## GRADING NOTES

1. THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND UTILITIES ONLY. REFER TO DRAWING SP-1 SITE PLAN FOR GENERAL INFORMATION, AND DRAWINGS DN-1, AND 2 FOR DETAILS.
2. THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
4. THE CONTRACTOR SHALL COMPACT FILL UNDER ALL PARKING, BUILDING, AND DRIVE AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
5. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN, AND ADJUSTED 1/4" BELOW GRADE IN PAVED AREAS. ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

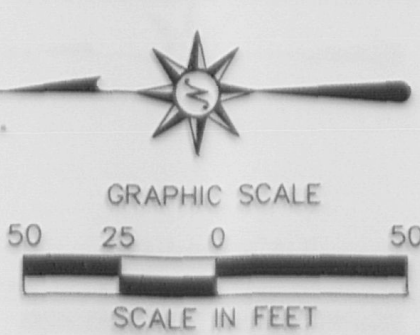
## CONSTRUCTION NOTES

1. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
2. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
3. ALL WATER LINES TO HAVE MINIMUM 4.5' COVER. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
4. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
5. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY IN THE FIELD, AFTER SUBGRADE IS ROUGH GRADED.
6. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED PER CENTRAL HUDSON GAS AND ELECTRIC AND BELL ATLANTIC TELEPHONE REQUIREMENTS.
7. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
8. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF NEW WINDSOR FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF NEW WINDSOR. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN MAINTENANCE OF TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED, ORDERED BY THE OWNER'S REPRESENTATIVE OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
10. A MINIMUM CLEARANCE OF 12 FEET SHALL BE MAINTAINED IN ALL DRIVING AREAS OF THE PARKING STRUCTURE FOR ACCESS BY FIRE AND OTHER EMERGENCY VEHICLES.

ALL EXISTING UTILITIES HAVE BEEN TAKEN FROM "UNITED STATES MILITARY ACADEMY" STEWART FIELD MAPS, LAST UPDATED 1942. ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION.

FINAL GRADING MAY VARY SLIGHTLY, PENDING FINAL PARKING DECK DESIGN. CLEARANCE BETWEEN PARKING LEVELS MUST BE A MINIMUM OF 12' FOR FIRE TRUCK ACCESS.

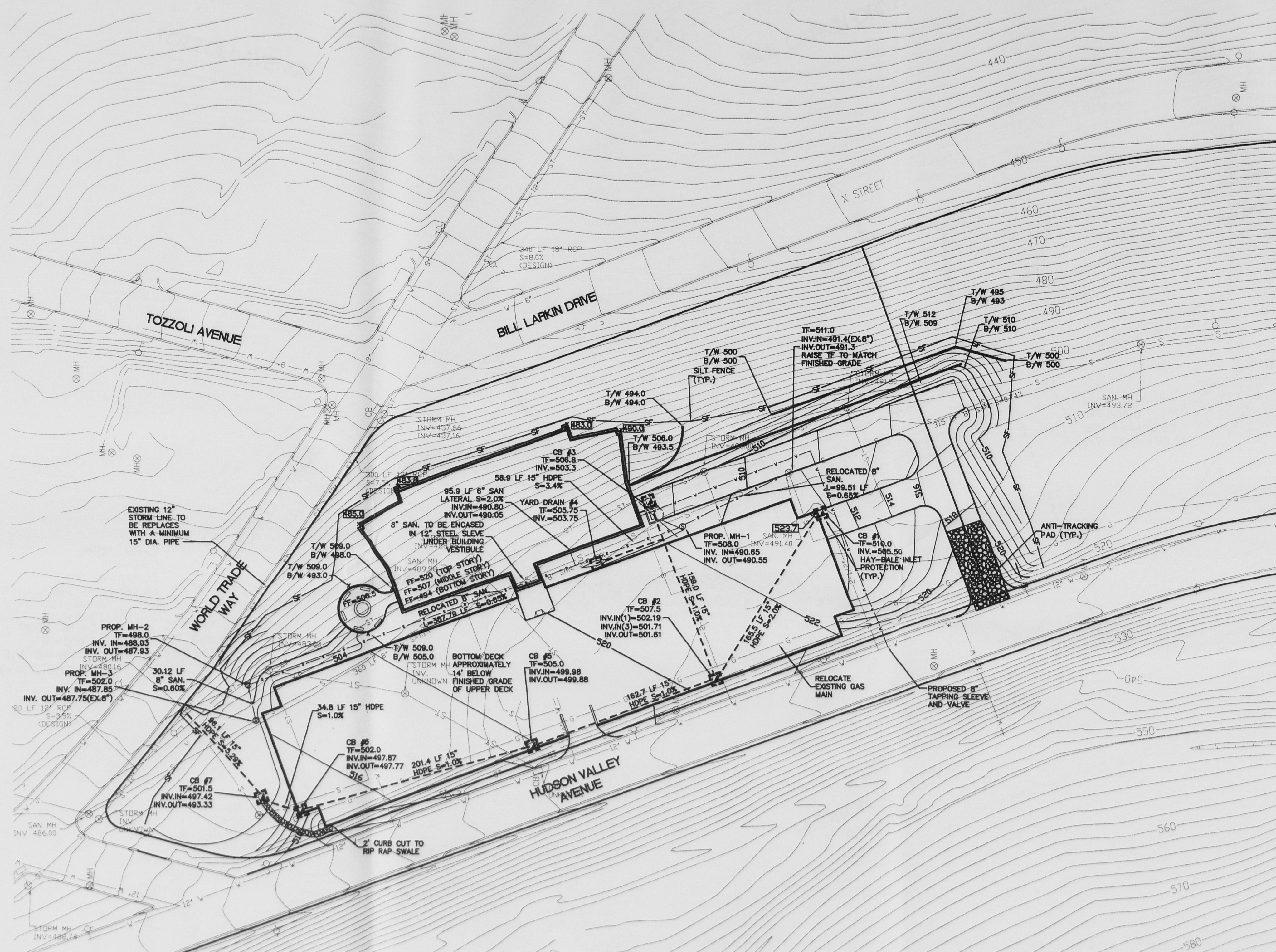
THE APPLICANT WILL, IN ADDITION TO THE IMPROVEMENTS SHOWN ON THE PLANS, UPSIZE THE OFF-SITE DRAINAGE PIPING DOWNSTREAM OF THIS SITE WITH PIPING IN CONFORMANCE WITH THE OVERALL DRAINAGE MASTER PLAN FOR NEW YORK INTERNATIONAL PLAZA, AS APPROVED BY THE TOWN. TIMING FOR CONSTRUCTION OF THESE OFF-SITE IMPROVEMENTS SHALL BE APPROVED BY THE TOWN.



**TOWN OF NEW WINDSOR  
PLANNING BOARD  
STAMP OF APPROVAL**

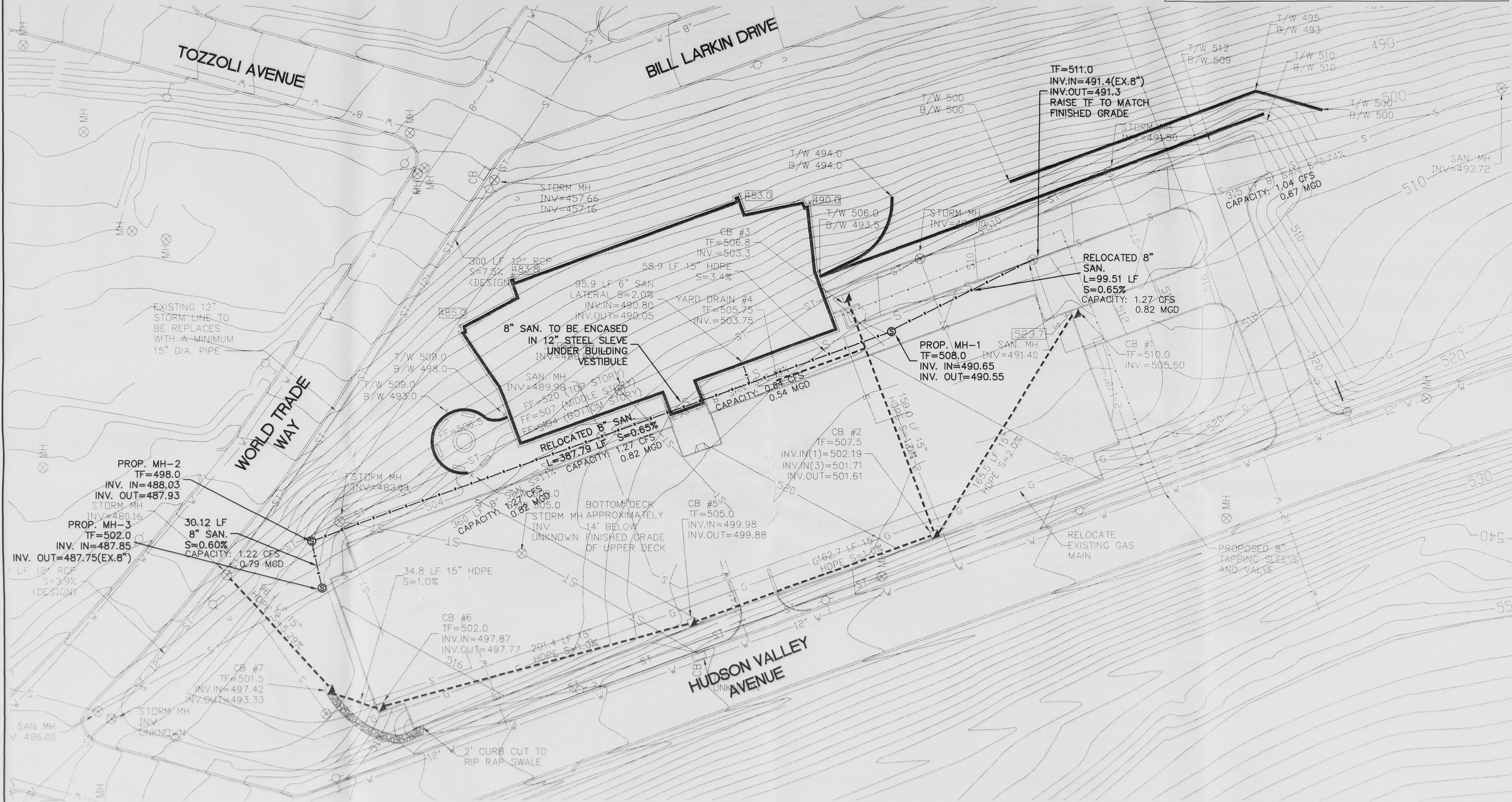
APPROVAL GRANTED BY TOWN OF NEW WINDSOR

OCT - 1 2000  
James Brennan, Secretary

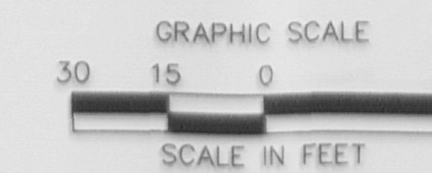




ALL EXISTING SANITARY CAPACITIES HAVE BEEN CALCULATED USING VITRIFIED CLAY PIPE WITH A MANNINGS "N" VALUE OF 0.013. ALL PROPOSED CAPACITIES HAVE BEEN CALCULATED USING PVC PIPE WITH A MANNINGS "N" OF 0.010.



ALL EXISTING UTILITIES HAVE BEEN TAKEN FROM "UNITED STATES MILITARY ACADEMY" STEWART FIELD MAPS, LAST UPDATED 1942. ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION.



**TOWN OF NEW WINDSOR  
PLANNING BOARD  
STAMP OF APPROVAL**

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

OCT - 1 2000  
By: *[Signature]*  
James M. Mangan, Secretary



# LANDSCAPE SCHEDULE

## SHRUBS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
JH	132	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	COMPACT ANDORRA JUNIPER	B&B	24"-30" MIN. HT.	UNIFORM, WELL DEVELOPED
TM	104	TAXUS X MEDIA 'HICKSI'	HICKS' YEW	B&B	24"-30" MIN. HT.	UNIFORM, WELL DEVELOPED
EA	44	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	B&B	18"-24" MIN. HT.	UNIFORM, WELL DEVELOPED
PJM	20	PJM RHODODENDROM	RHODODENDROM PJM	B&B	18"-24" MIN. HT.	UNIFORM, WELL DEVELOPED

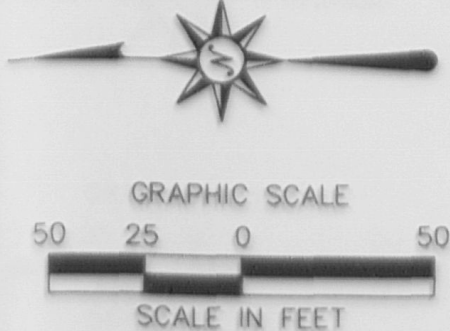
NOTE: SEE LANDSCAPE DETAILS FOR ADDITIONAL LANDSCAPE INFORMATION.

## TREES

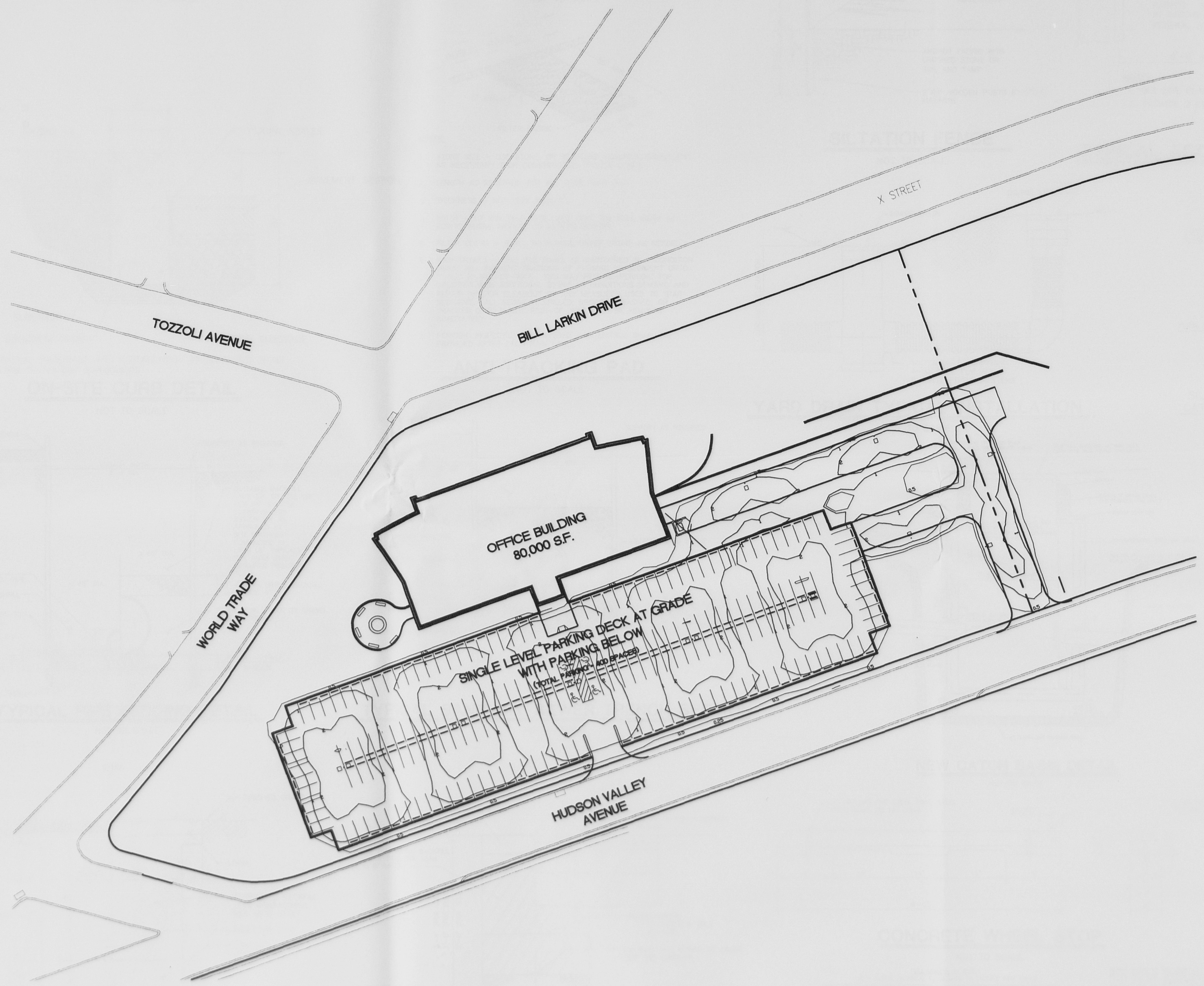
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B&B	2 1/2"-3" CAL.	UNIFORM, WELL DEVELOPED, 7' BRANCH HT.
CF	9	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	B&B	2 1/2"-3" CAL.	UNIFORM, WELL DEVELOPED, 7' BRANCH HT.
MC	6	MALUS 'CENTZAM'	CENTURION FLOWERING CRAB	B&B	2 1/2"-3" CAL.	UNIFORM, WELL DEVELOPED, 7' BRANCH HT.
PS	14	PINUS STROBUS	WHITE PINE	B&B	6' - 8' MIN HT	UNIFORM, WELL DEVELOPED, 7' BRANCH HT.
QR	12	QUERCUS RUBRA	RED OAK	B&B	2 1/2"-3" CAL.	UNIFORM, WELL DEVELOPED, 7' BRANCH HT.

## GENERAL LANDSCAPE NOTES

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE LAYOUT PLAN, LIGHTING PLAN, GRADING PLAN AND UTILITIES PLAN FOR ALL OTHER INFORMATION.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS, TREES, AND SHRUBS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE ONE YEAR GUARANTEE PERIOD.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. PRIOR TO PLANTING THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS. THE OWNER OR LANDSCAPE ARCHITECT SHALL APPROVE THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL.
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF PINE BARK MULCH OVER 10 MIL. FABRIC EQUAL TO "WEEDBLOCK" BY "EASY GARDENER." INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE CONTRACTOR. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL. SEE LANDSCAPE DETAIL SHEET FOR PLANTING DETAILS.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND UTILITY FOR STORM, SANITARY AND WATER LINES. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.
- PLANTING SOIL MIXTURE:  
2 PARTS PEAT MOSS  
5 PARTS TOPSOIL  
MYCORHIZA INOCULANT - "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL. USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS.  
FERTILIZER/LIME APPLY AS RECOMMENDED BY SOIL ANALYSIS
- TREES, AND SHRUBS:  
TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCATION OF THE PROJECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY AND WELL-DEVELOPED ROOT SYSTEMS. ALL TREES SHALL HAVE STRAIGHT SINGLE TRUNKS WITH THEIR MAIN LEADER INTACT UNLESS OTHERWISE STATED. THE OWNER OR LANDSCAPE ARCHITECT SHALL ONLY PERMIT SUBSTITUTIONS UPON WRITTEN APPROVAL. THEIR SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED ON THE DRAWINGS MAY BE USED IF APPROVED. THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSSES SHALL HAVE SINGLE STRAIGHT TRUNKS AND SHALL NOT BRANCH BELOW 7' FEET HIGH IF THE TREE CALIPER IS 2 1/2" INCHES OR GREATER.
- ANNUALS, PERENNIALS, AND GROUNDCOVERS:  
ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE IS REQUIRED FOR ALL PLANT MATERIALS.
- SEEDING MIXTURES:  
A. LAWN SEEDING MIXTURE - LOFTS SEED COMPANY OR APPROVED EQUAL  
10% KENTUCKY BLUEGRASS (POA PRATENSIS)  
10% PERENNIAL RYEGRASS (LOLIUM PERENNE)  
80% BLEND OF THREE TALL FESCUES (FESTUCA ARUNDINACEA)  
SEEDING RATE: 4.5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDED).  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.  
B. LOW MAINTENANCE SEEDING MIXTURE - LOFTS SEED COMPANY OR APPROVED EQUAL  
(NATIVE SHORT GRASS MIXTURE)  
40% LITTLE BLUESTEM (ANDROPOGON SCOPARIUS)  
30% BLUE SHEEP OR HARD FESCUE (FESTUCA OVINA, FESTUCA LONIFOLIA)  
15% BLUE GRAMA (BOULDOUA GRACULUS)  
15% SIDE OATS GRAMA (BOULDOUA CURTIPENDULA)  
SEEDING RATES: 3 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDED).  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. ALL AREAS CALLED OUT AS LOW MAINTENANCE SEEDING MIXTURE ON THE LANDSCAPE PLAN SHALL BE SEED AS INDICATED.  
C. SLOPE SEEDING MIXTURE (3:1 SLOPES OR GREATER)  
CROWN VETCH\* (CORONILLA VARIA) (20%)  
BIRDFOOT TREFOIL\* (LOTUS CORNICULUS VAR. ARVENSIS) (40%)  
ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) (30%)  
ALSIKE CLOVER (TRIFOLIUM HYBRIDUM) (10%)  
LEGUMINOUS SEED TO BE INOCULATED  
PURE LIVE SEED: 96-98%  
APPLICATION RATE: 25 LBS/ACRE  
FERTILIZER TYPE: 10-20-20  
FERTILIZER RATE OF APPLICATION: 400 LBS/ACRE  
LIMING RATE: 500 LBS/ACRE (PULVERIZED AGRI. LIMESTONE)  
MULCH TYPE: WOOD CELLULOSE FIBER  
ANCHOR MATERIAL: EC3000 COPOLYMER TACKIFIER  
ANCHORING METHOD: SLURRY, MIX AND SPRAY  
ANCHORING RATE OF APPLICATION: 3 LBS/ACRE  
SEEDING SEASON DATES: MARCH 1-MAY 15 AND SEPT. 1-OCTOBER 15  
D. TEMPORARY SEEDING MIXTURE TYPE 1  
ANNUAL RYEGRASS (50%)  
PERENNIAL RYEGRASS (50%)  
% PURE LIVE SEED: 95%  
APPLICATION RATE: 4LBS/MSF  
FERTILIZER TYPE: 5-5-5  
FERTILIZER APPLICATION RATE: 1000 LBS/ ACRE  
LIMING RATE: 1 TON/ ACRE  
MULCH TYPE: STRAW  
MULCH RATE: 3 TONS/ACRE
- ALL SLOPES GREATER THAN 3:1 RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
- TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4". CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION OFFICE OF USDA TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.
- UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEED WITH THE LAWN SEEDING MIXTURE.
- PROVIDE AND INSTALL LANDSCAPE EDGING AS NOTED ON DRAWING EQUAL TO "OLY-OLA SLIM-EDGE 5" HEAVY DUTY BLACK POLYETHYLENE. (630-835-3033)



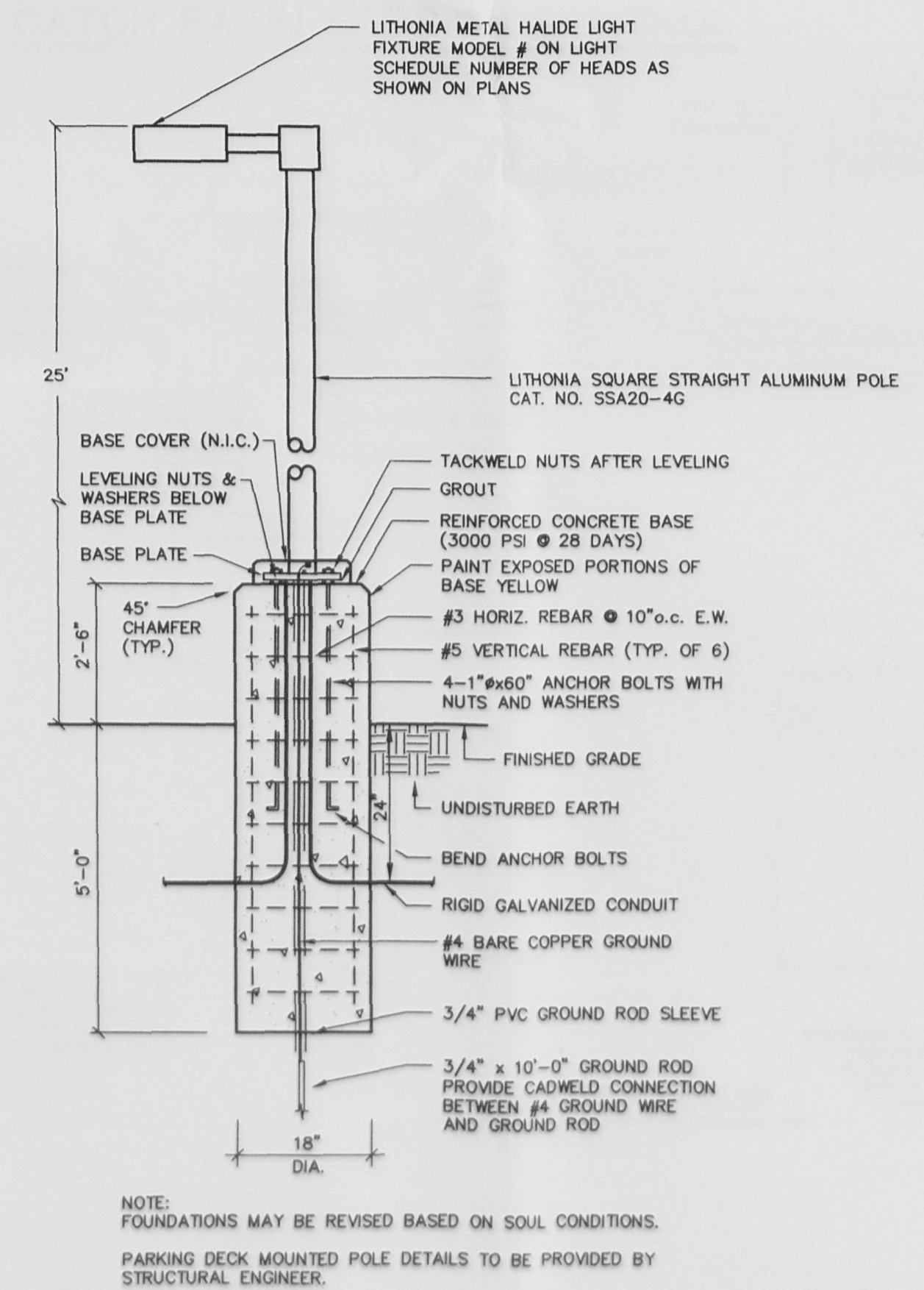




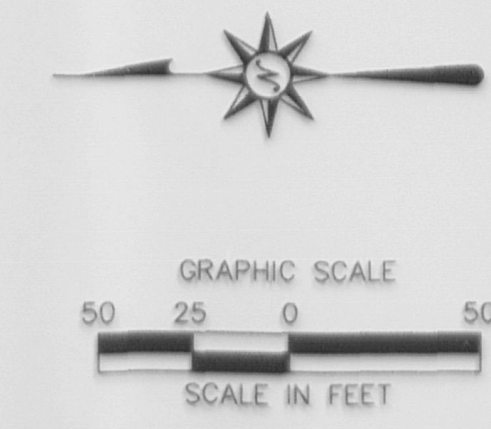
LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF
□	A	4	KSF1 250M R3	ARM MOUNTED PREMIUM CUT-OFF FIXTURE W/SEGMENTED OPTICS	SYL M0250102312	94080302.IES	20000	0.72
□	B	5	KSF1 250M R3	ARM MOUNTED PREMIUM CUT-OFF FIXTURE W/SEGMENTED OPTICS	SYL M0250102312	94080302.IES	20000	0.72

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	1.8 fc	5.2 fc	0.5 fc	10.4:1	3.5:1

- NOTES**
- Readings shown are maintained illuminance as noted.
  - Based on a light loss factor of 0.72.
  - Results are shown in units of foot-candles.
  - Readings shown are taken at grade.
  - Luminaire mounting heights are noted in luminaire locations chart.



**LIGHT POLE & BASE**  
N.T.S.



**TOWN OF NEW WINDSOR  
PLANNING BOARD  
STAMP OF APPROVAL**

APPROVED BY: [Signature]  
DATE: OCT - 1 2000

**BL Companies**  
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(914) 485-7088  
(914) 485-7131 Fax

PREPARED FOR:

**FIRST COLUMBIA**  
STRATEGIC HEALTHCARE DEVELOPMENT

**LIGHTING PLAN**

**1 HUDSON VALLEY AVENUE**  
NEW YORK INTERNATIONAL PLAZA  
ORANGE COUNTY, NEW YORK

**TOWN OF NEW WINDSOR**

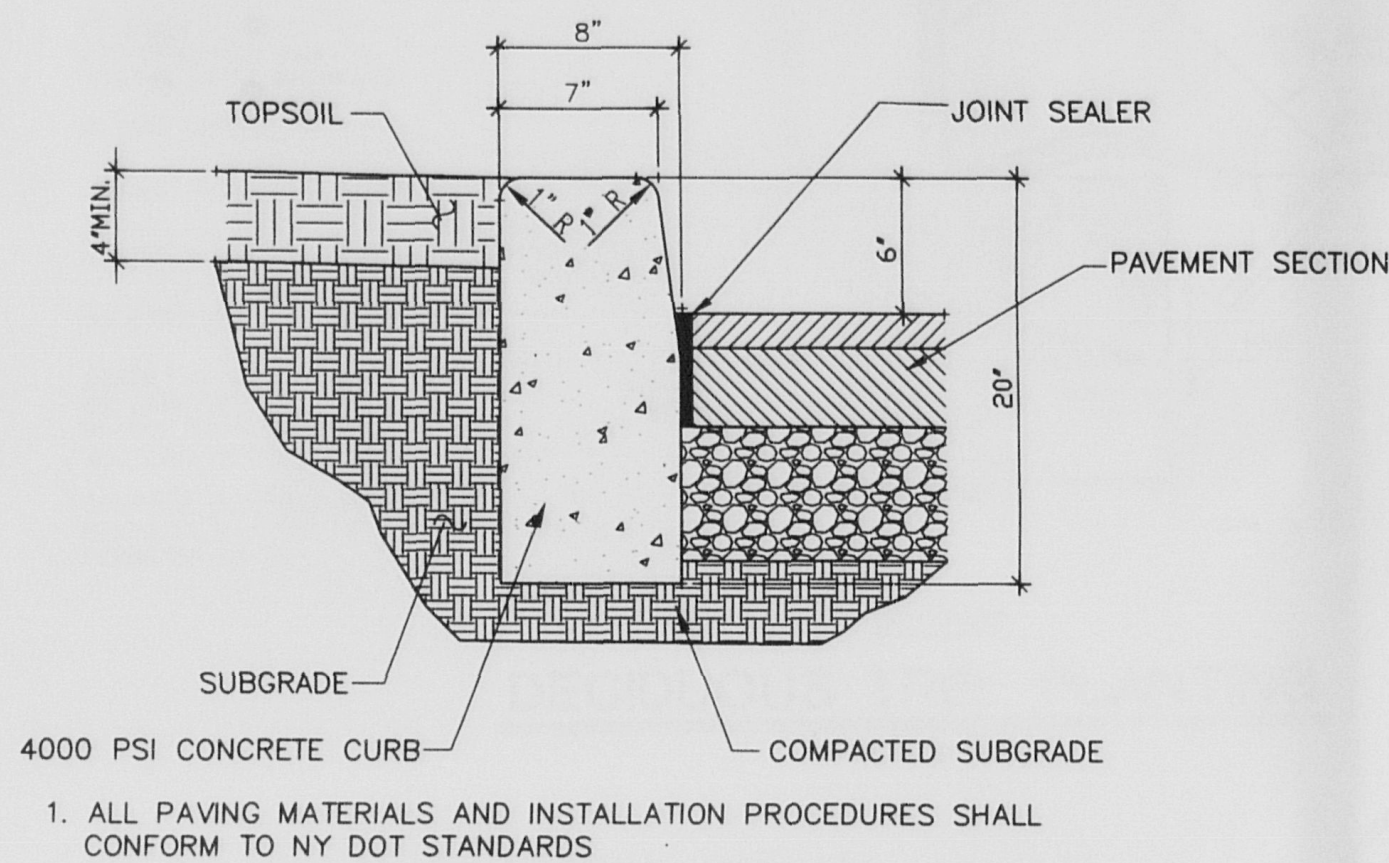
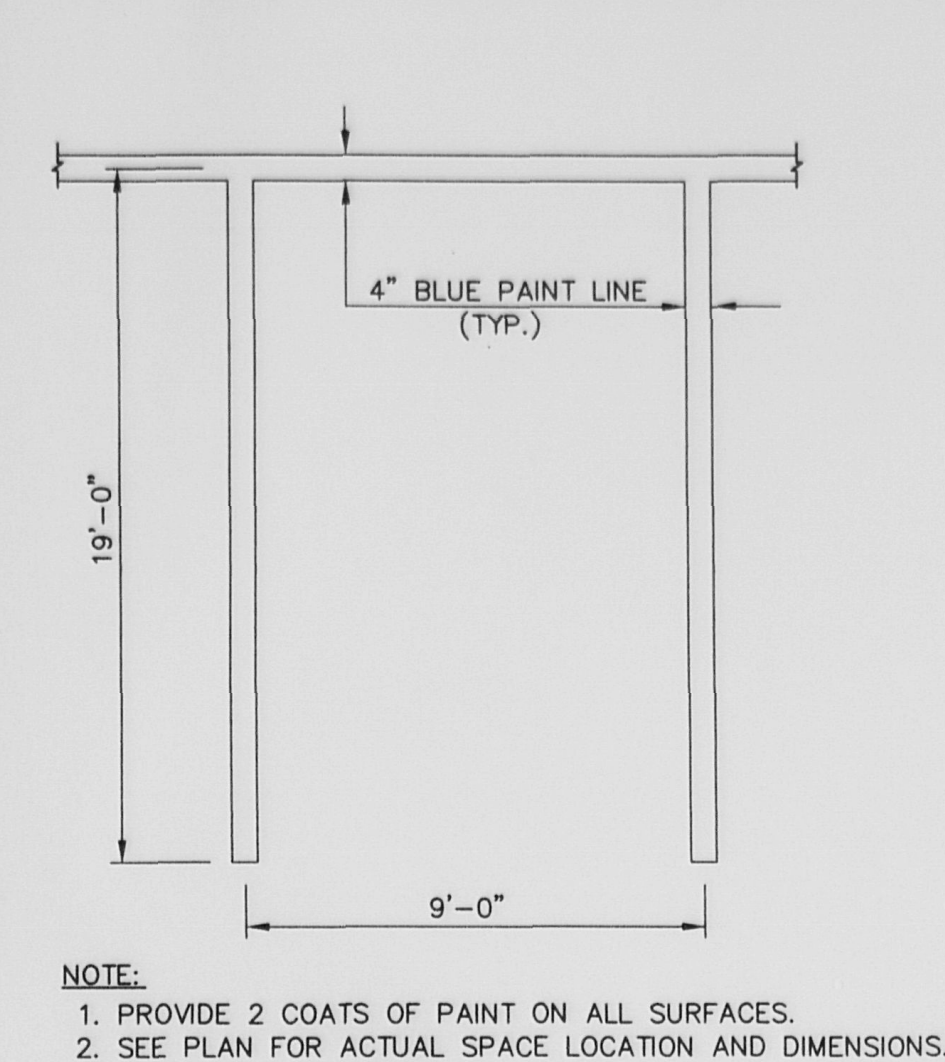
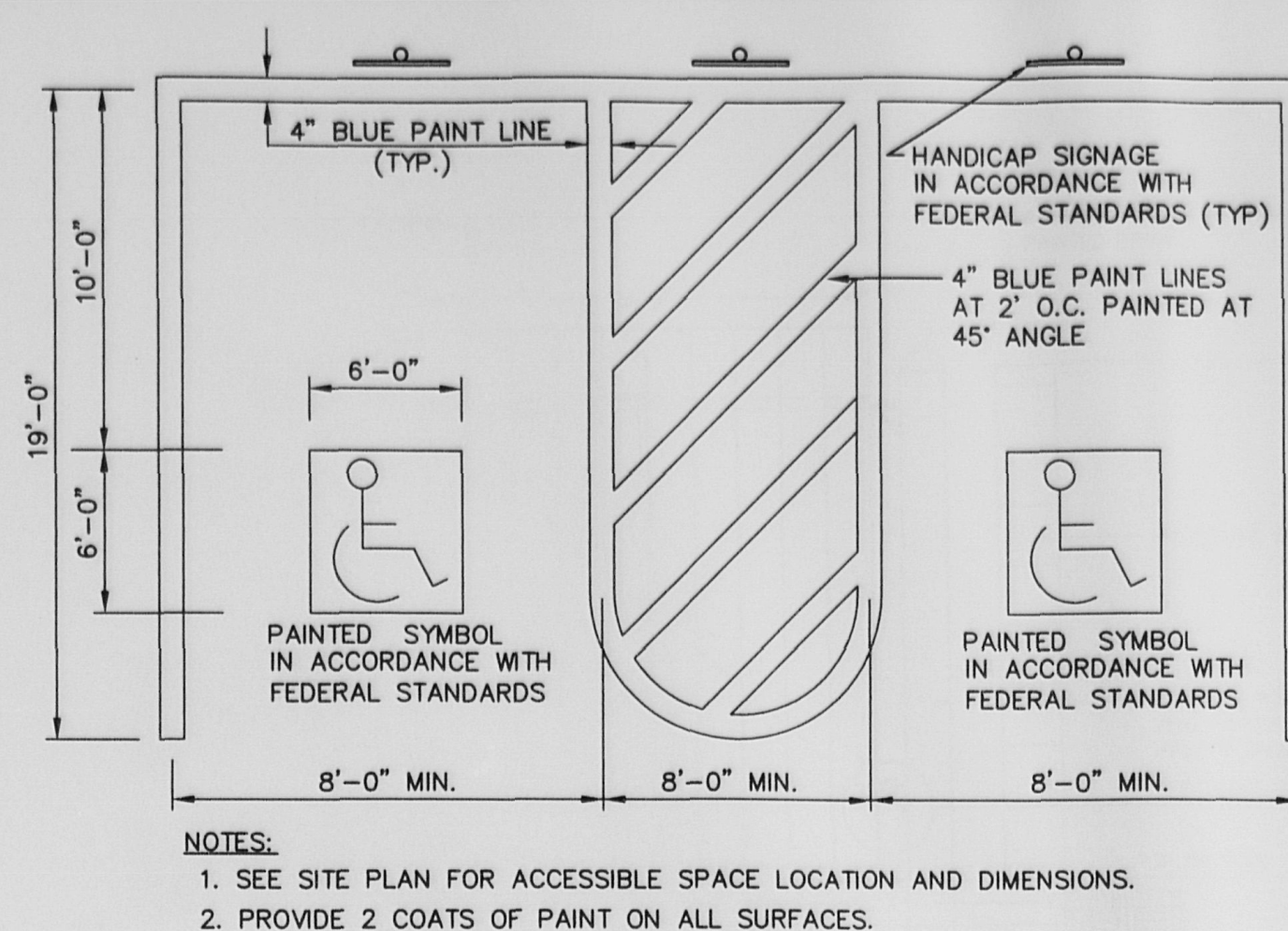
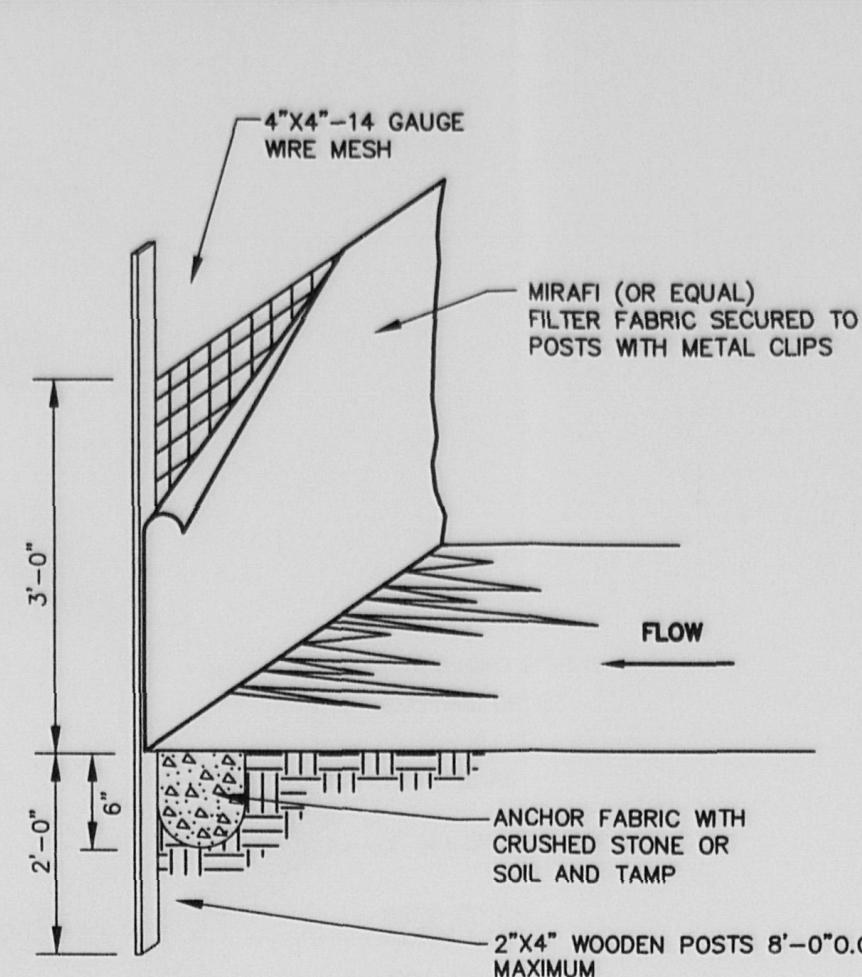
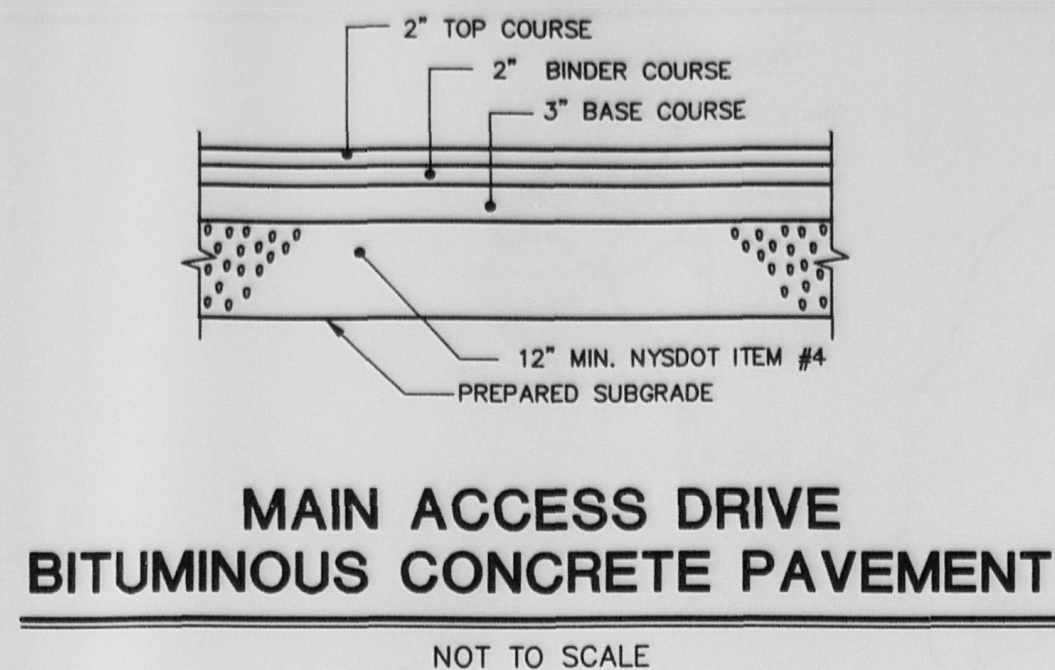
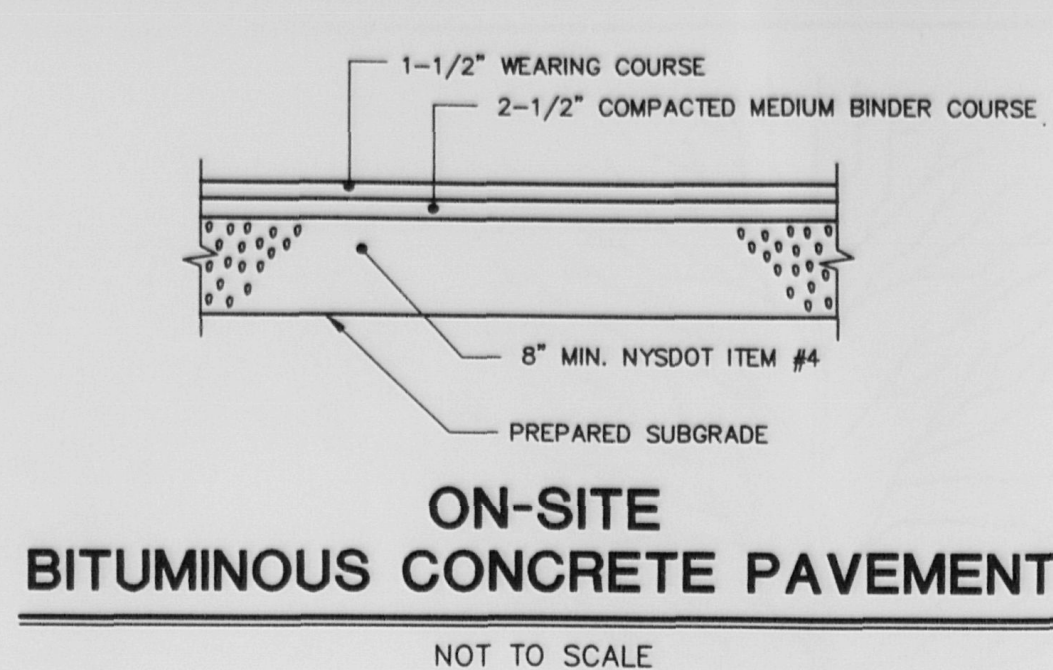
REVISIONS	No.	Date	Desc.
1	1	07/13/00	REVISE PER COMMENTS
2	2	09/15/00	REVISE PER COMMENTS

Designed	T.J.O.
Drawn	T.J.O.
Checked	R.E.M.
Approved	R.A.L.
Scale	1"=50'
Project No.	00N280
Date	6/23/00
CAD File	LPN28001

Sheet No.

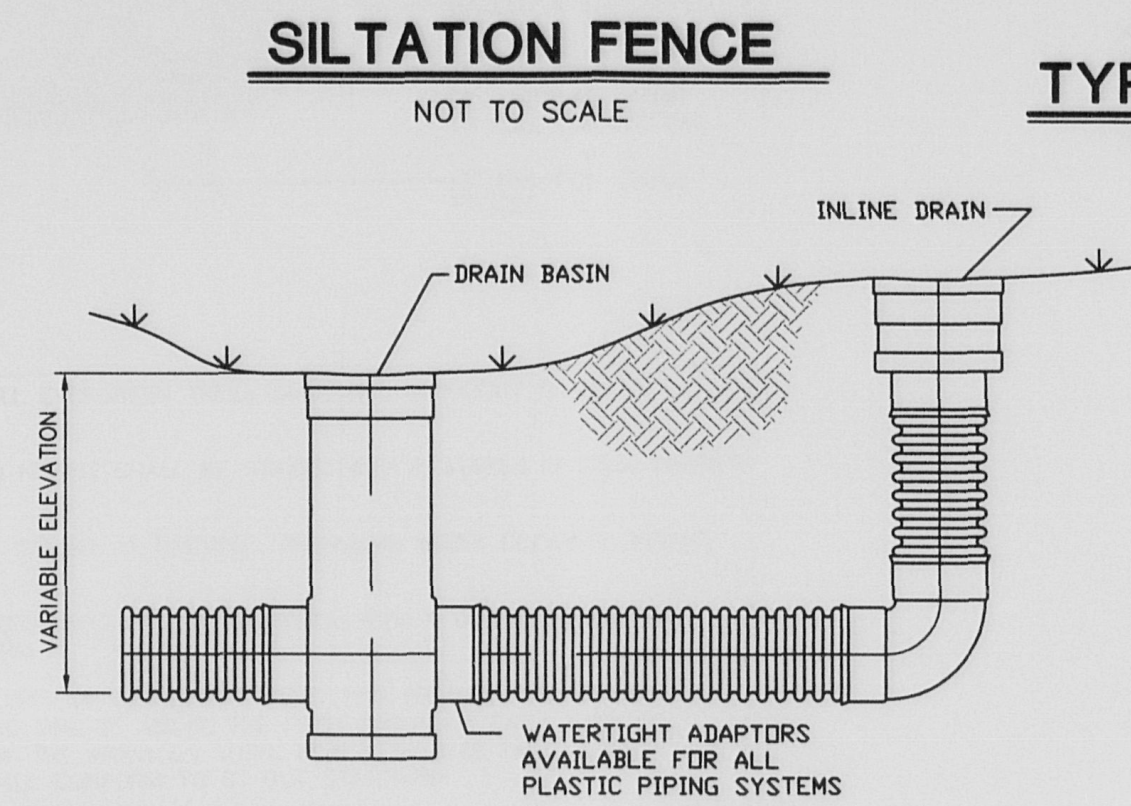
**LP-1**



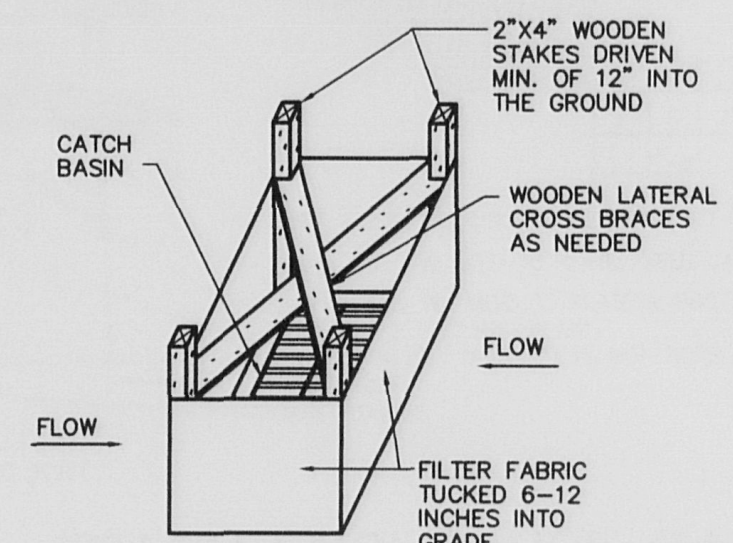


- NOTES:
1. STONE SIZE - USE STONE, OR RECYCLED CONCRETE EQUIVALENT AS NECESSARY FOR CONSTRUCTION VEHICLE LOADS.
  2. LENGTH AS REQUIRED, BUT NOT LESS THAN 50'.
  3. THICKNESS - NOT LESS THAN 6".
  4. WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  5. FILTER CLOTH - SHALL BE PLACED UNDER STONE AS NEEDED.
  6. MAINTENANCE - THE PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  7. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN FALL.

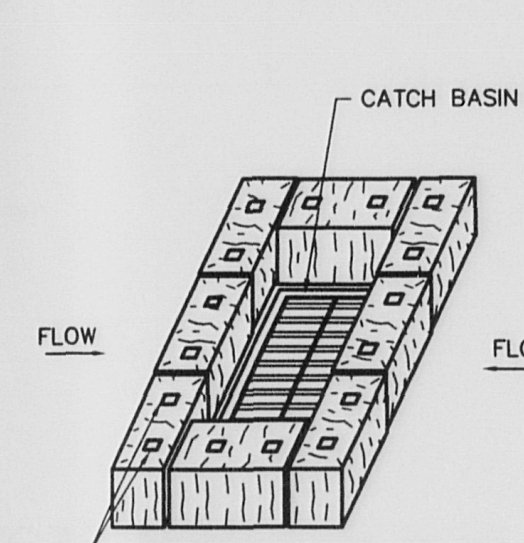
**ANTI-TRACKING PAD**  
NOT TO SCALE



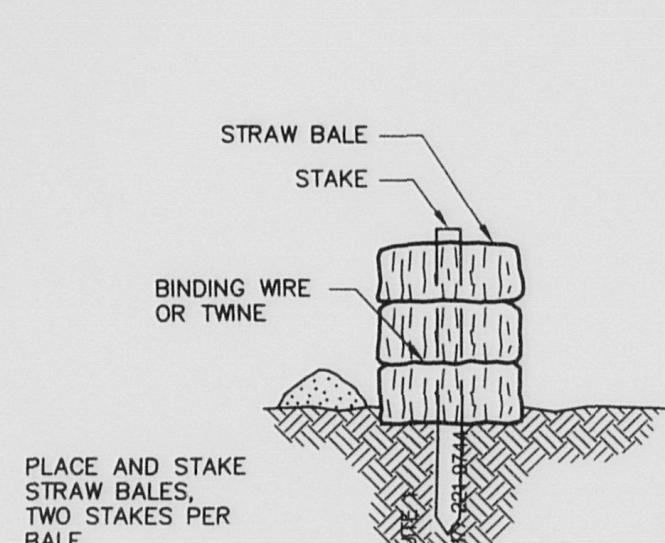
**YARD DRAIN TYPICAL INSTALLATION**  
NOT TO SCALE



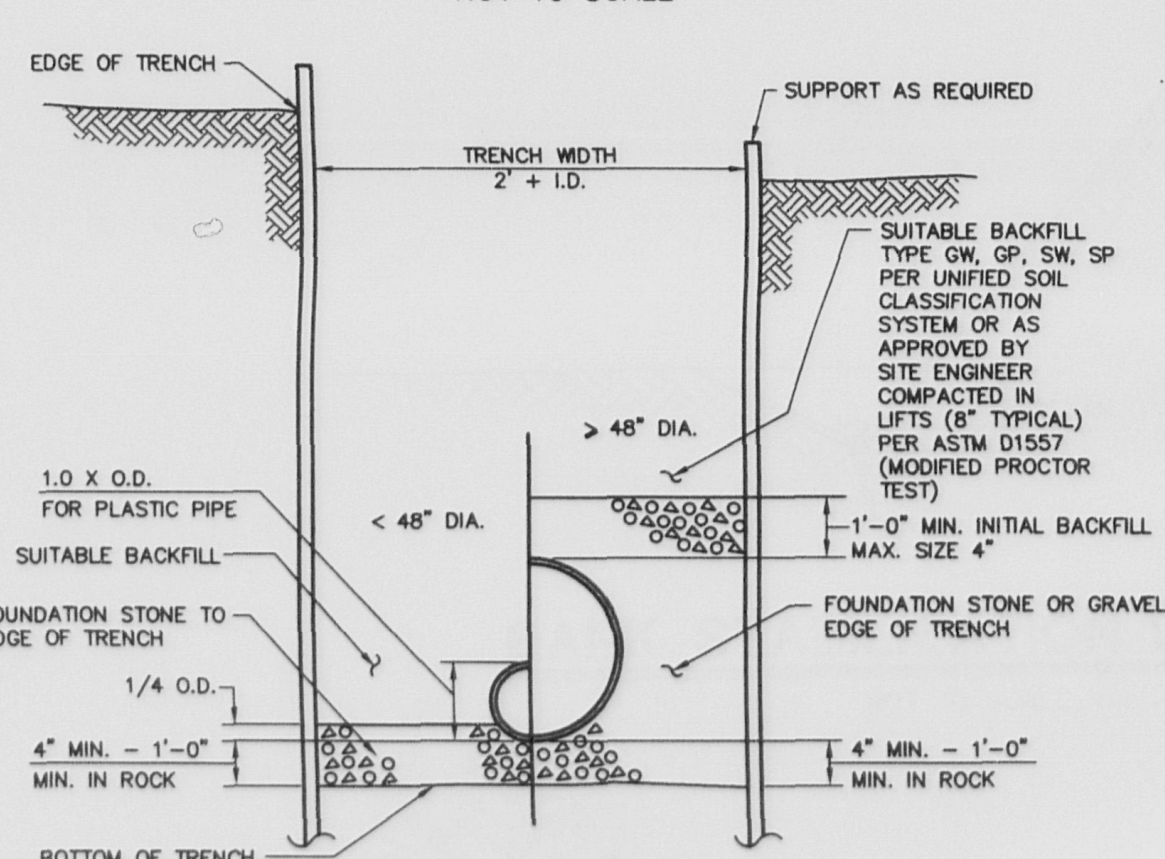
**SILT FENCE INSTALLATION AT CATCH BASINS AT LOW POINTS**



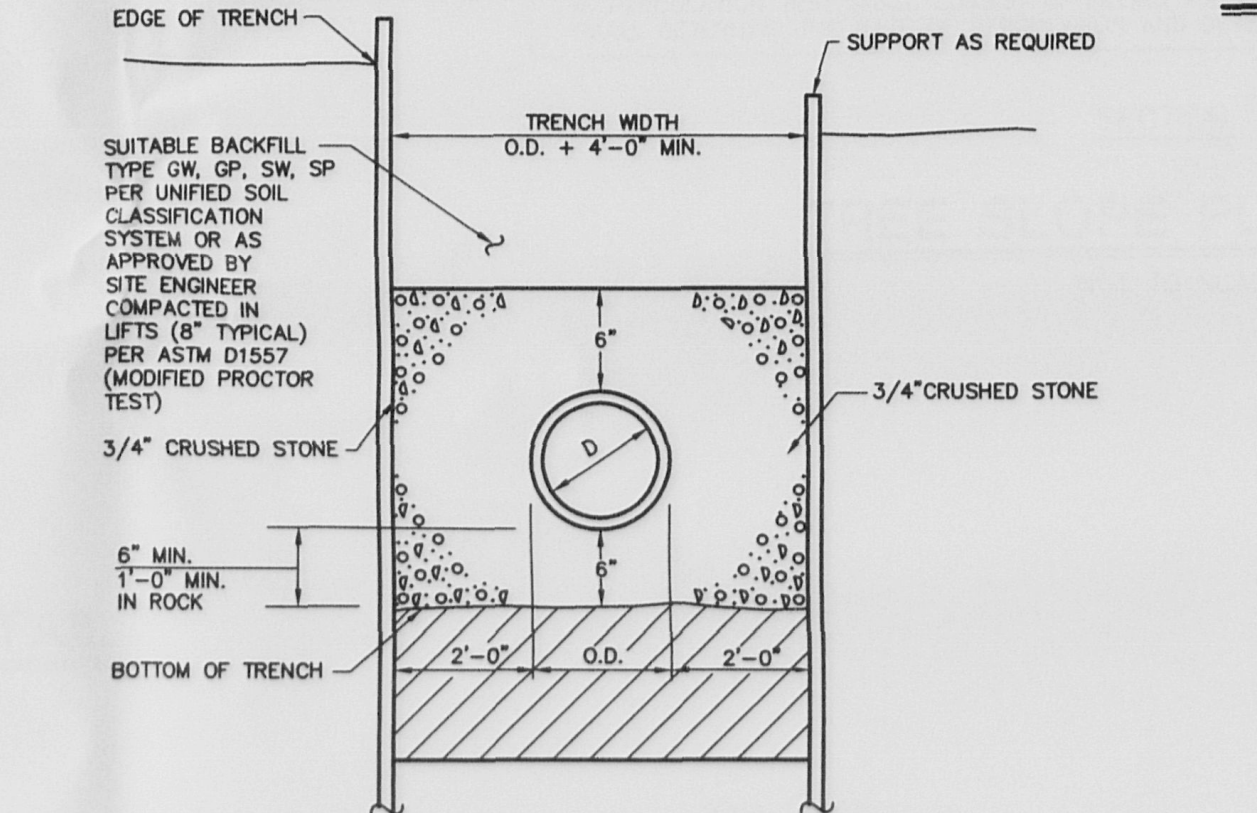
**HAY BALE FILTER INSTALLATION AT CATCH BASIN AT LOW POINTS**



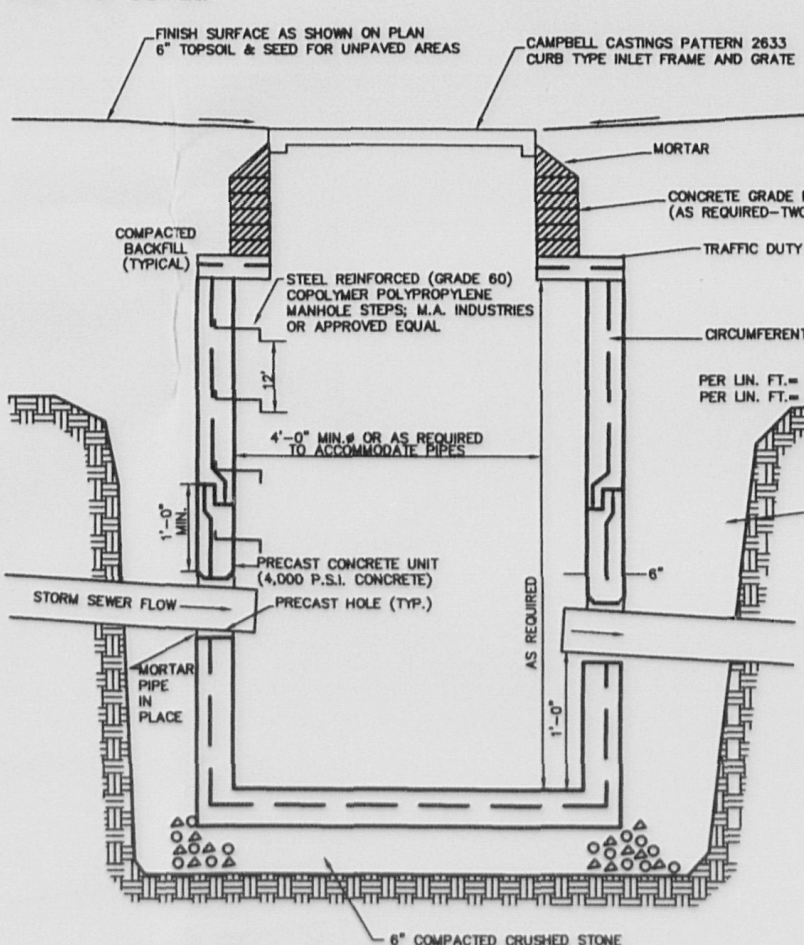
**HAY BALE DETAIL**  
NOT TO SCALE



**TYPICAL PIPE BEDDING DETAIL**  
NOT TO SCALE

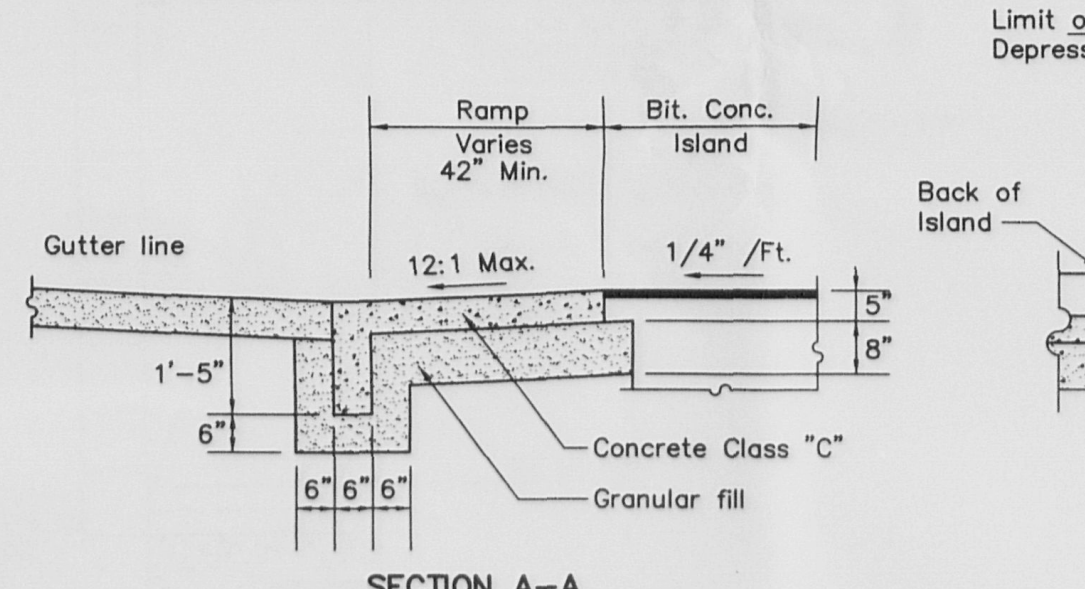


**TYPICAL SANITARY SEWER TRENCH SECTION**  
NOT TO SCALE

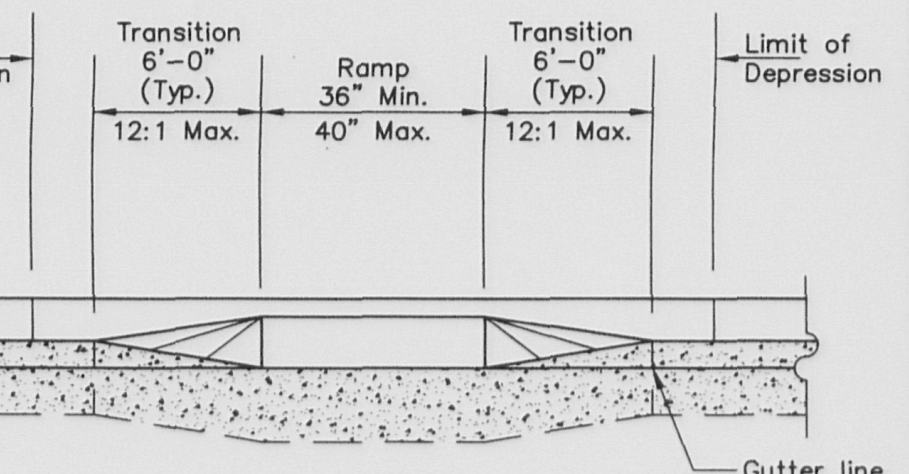


**NEW CATCH BASIN DETAIL**  
NOT TO SCALE

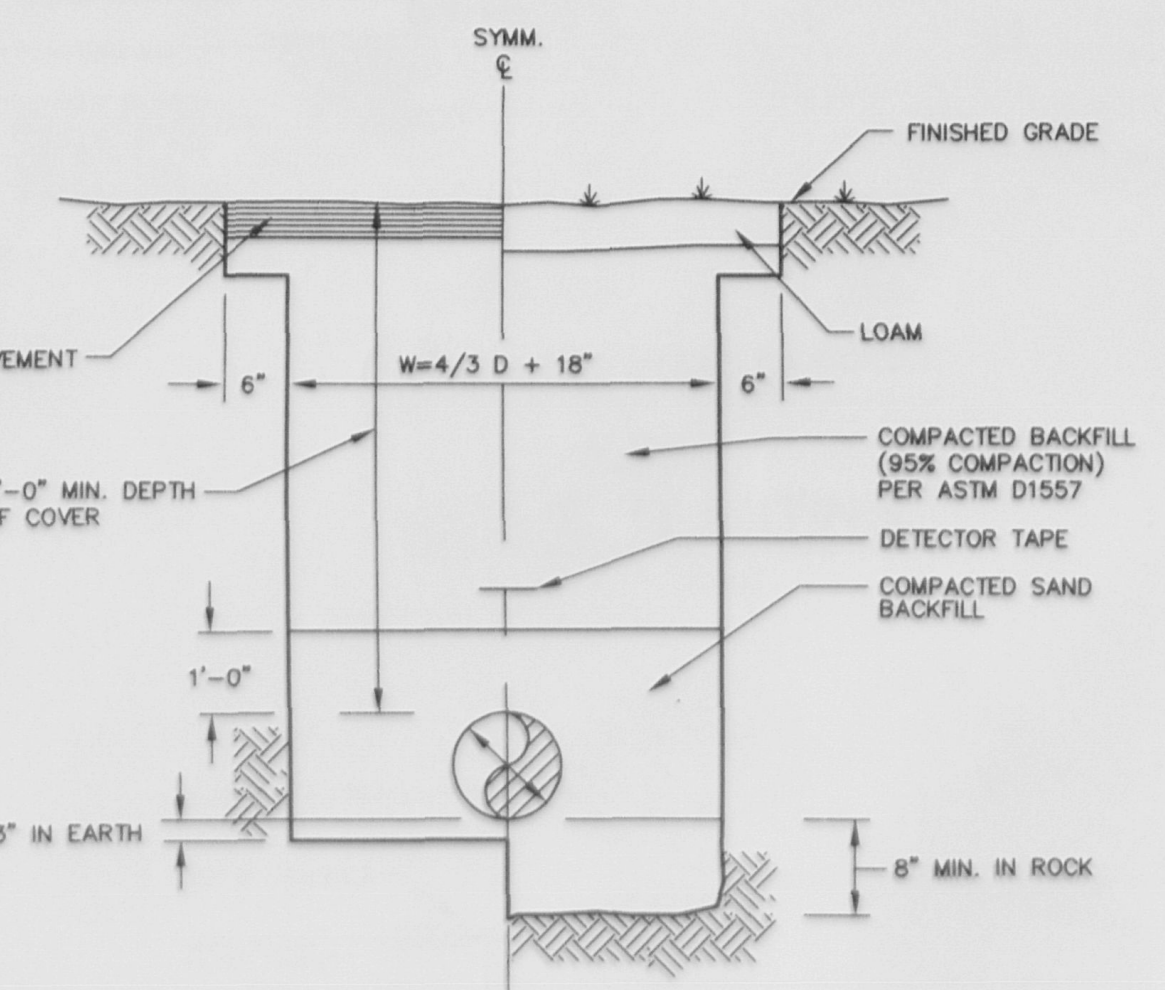
**CATCH BASIN EROSION CONTROL**  
NOT TO SCALE



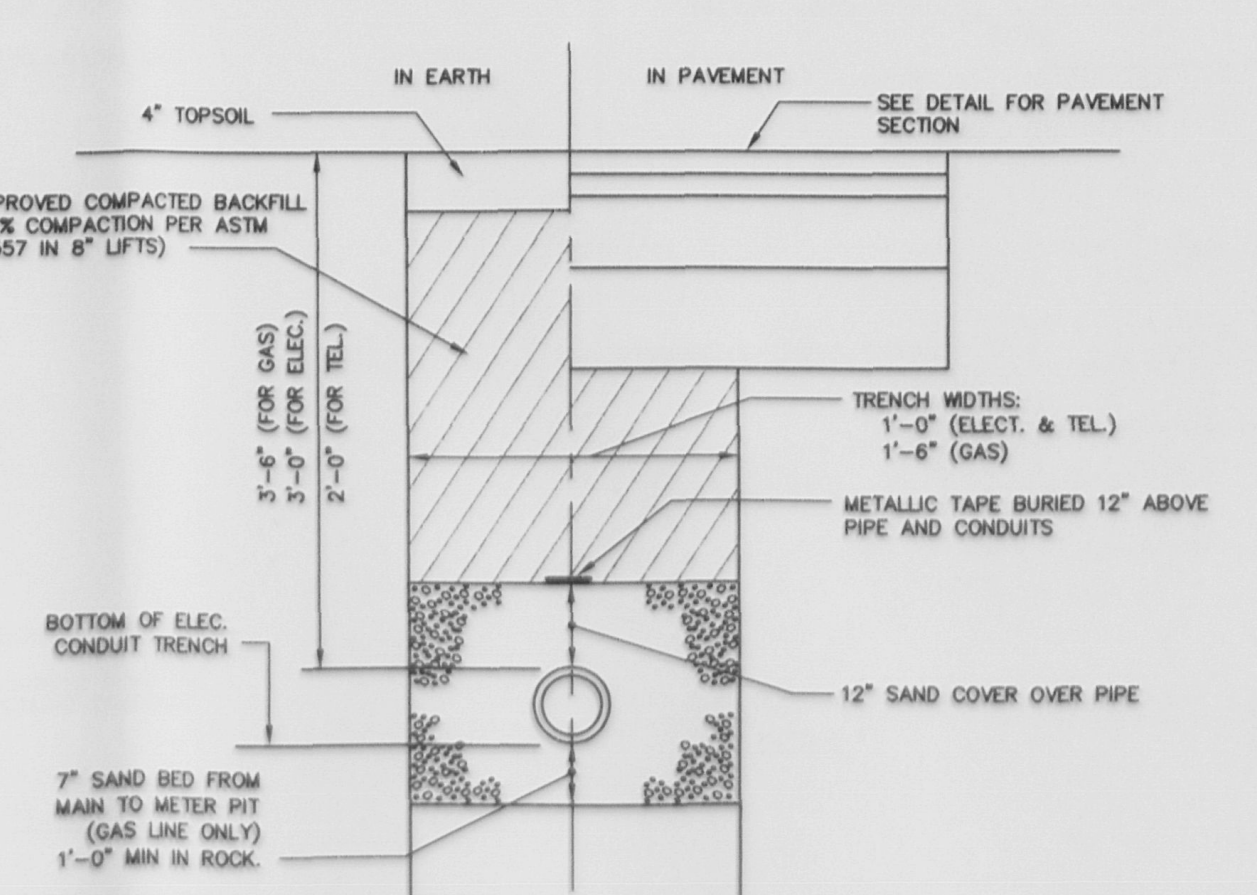
**SECTION A-A**



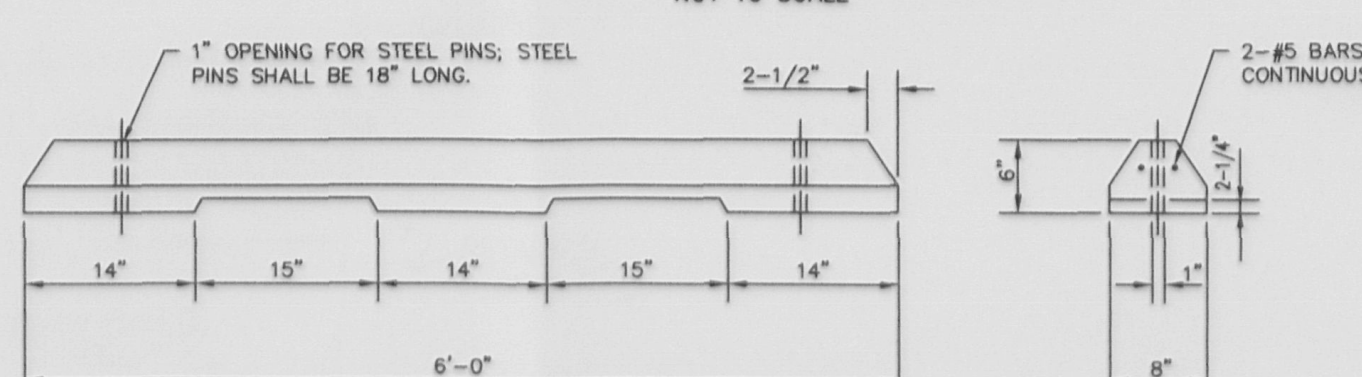
**ELEVATION**



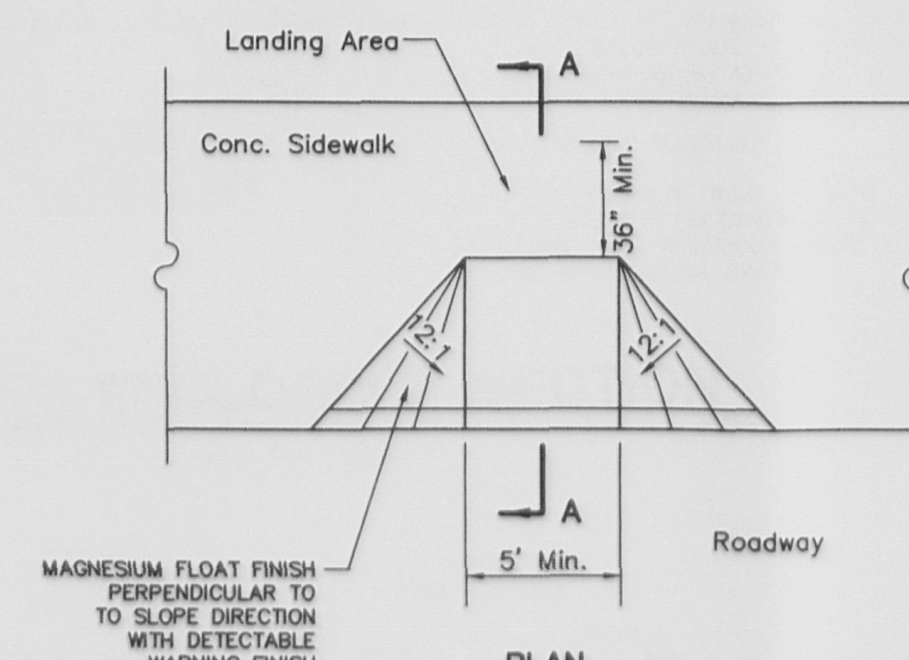
**TYPICAL WATER SERVICE TRENCH DETAIL**  
NOT TO SCALE



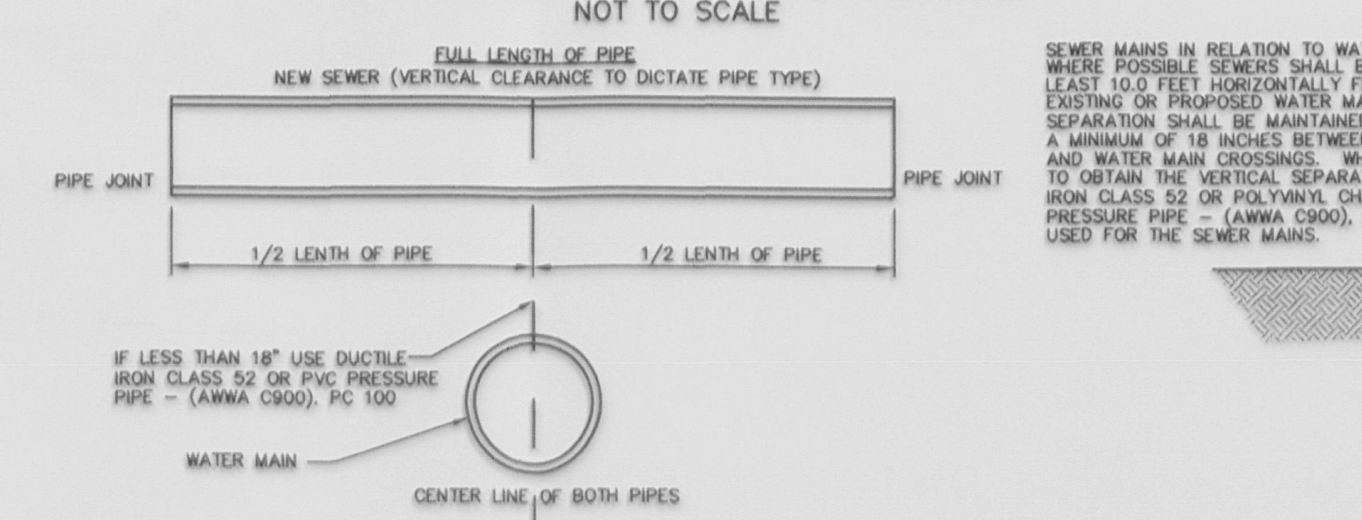
**ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL**  
NOT TO SCALE



**CONCRETE WHEEL STOP**  
NOT TO SCALE

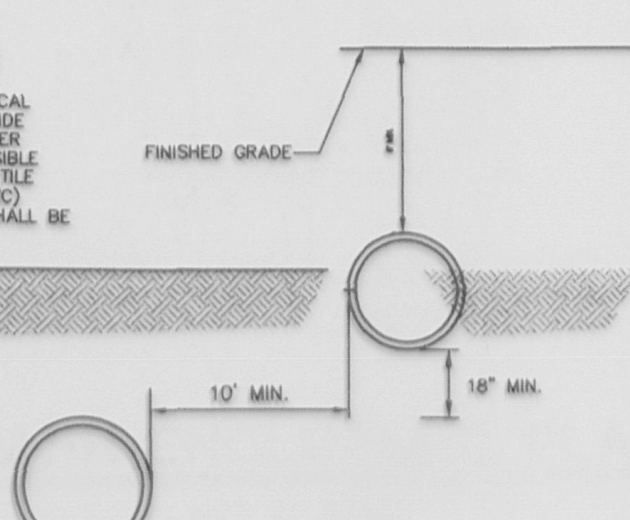


**HANDICAP RAMP**  
NOT TO SCALE



**WATER AND SEWER MAIN CROSSING**

**WATER AND SEWER MAIN RELATION DETAIL**  
NOT TO SCALE



**WATER AND SEWER MAIN RUNNING PARALLEL**





